



**City of Poughkeepsie
Waterfront Advisory Committee
Meeting Agenda**

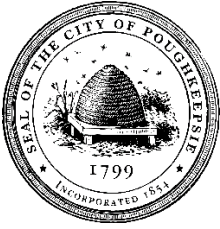
Common Council Chambers
Wednesday, July 3, 2024
5:30 PM

I. APPROVAL OF MEETING MINUTES

1. Approval of June 4, 2024 Meeting Minutes

II. COMMITTEE BUSINESS

1. 9 Dutchess



POUGHKEEPSIE WATERFRONT ADVISORY COMMITTEE

City of Poughkeepsie Planning Division

62 Civic Center Plaza, 2nd Floor

Poughkeepsie, NY 12602

(845) 451-4055

MINUTES OF THE JUNE 5th, 2024 MEETING

Members Present: Mike Young (Interim Chair), Europa McGovern, Harvey Flad, Jim Nelson,

Also Present Tyler Maegerle, Planner

Meeting called to order: 5:34 PM

I. APPROVAL OF MEETING MINUTES

Mike Young called a roll call vote. Vote carried 4:0:0.

II. OLD BUSINESS

1. 9 Dutchess

Mike Young called a roll call vote to ratify the 5/21/2023 advisory letter regarding 9 Dutchess Avenue. Vote carried 4:0:0.

Motion to adjourn meeting by roll call

Motion: Europa McGovern

Carried: 4:0:0

CONSTRUCTION WASTE MANAGEMENT PLAN

CONSTRUCTION WASTE MANAGEMENT PRACTICES ARE DESIGNED TO MAINTAIN A CLEAN AND ORDERLY WORK ENVIRONMENT. THIS WILL REDUCE THE POTENTIAL FOR SIGNIFICANT MATERIALS TO COME INTO CONTACT WITH STORMWATER. A MAINTENANCE SCHEDULE SHALL BE DEVELOPED FOR THESE AREAS. THE GENERAL CONTRACTOR SHALL IMPLEMENT THE FOLLOWING PRACTICES:

1. MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATION WILL BE STOCKPILED UP SLOPE FROM ADEQUATE SEDIMENTATION CONTROLS.
2. EQUIPMENT CLEANING, MAINTENANCE, AND REPAIR AREAS SHALL BE DESIGNATED AND PROTECTED BY A TEMPORARY PERIMETER BERM.
3. THE USE OF DETERGENTS FOR LARGE SCALE WASHING IS PROHIBITED (I.E., VEHICLES, BUILDINGS, PAVEMENT SURFACES, ETC.).

4. SPILL PREVENTION AND RESPONSE
A SPILL PREVENTION AND RESPONSE PLAN SHALL BE DEVELOPED FOR THE SITE BY THE GENERAL CONTRACTOR. THE PLAN SHALL DETAIL THE STEPS NEEDED TO BE FOLLOWED IN THE EVENT OF AN ACCIDENTAL SPILL AND SHALL IDENTIFY CONTACT NAMES AND PHONE NUMBERS OF PEOPLE AND AGENCIES THAT MUST BE NOTIFIED.

THE PLAN SHALL INCLUDE MATERIAL SAFETY DATA SHEETS (MSDS) FOR ALL MATERIALS TO BE STORED ON-SITE. ALL WORKERS ON-SITE WILL BE REQUIRED TO BE TRAINED ON SAFE HANDLING AND SPILL PREVENTION PROCEDURES FOR ALL MATERIALS USED DURING CONSTRUCTION. REGULAR TAILGATE SAFETY MEETINGS SHALL BE HELD AND ALL WORKERS THAT ARE EXPECTED ON THE SITE DURING THE WEEK SHALL BE REQUIRED TO ATTEND.

5. MATERIAL STORAGE
CONSTRUCTION MATERIALS SHALL BE STORED IN A DEDICATED STAGING AREA. THE STAGING AREA SHALL BE LOCATED IN AN AREA THAT MINIMIZES THE IMPACTS OF THE CONSTRUCTION MATERIALS EFFECTING STORMWATER QUALITY.

CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS, AND OTHER TOXIC MATERIAL MUST BE STORED IN WATERPROOF CONTAINERS. EXCEPT DURING APPLICATION, THE CONTENTS MUST BE KEPT IN TRUCKS OR WITHIN STORAGE FACILITIES. RUNOFF CONTAINING SUCH MATERIAL MUST BE COLLECTED, REMOVED FROM THE SITE, TREATED AND DISPOSED AT AN APPROVED SOLID WASTE OR CHEMICAL DISPOSAL FACILITY.

6. TEMPORARY CONCRETE WASHOUT FACILITY
TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FT FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING. A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.

WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHALL BE REMOVED AND DISPOSED OF. MATERIALS USED TO CONSTRUCT THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE AND DISPOSED OF. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED AND/OR REPAIRED AND SEEDED AND MULCHED FOR FINAL STABILIZATION.

7. SOLID WASTE DISPOSAL
NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, ARE ALLOWED TO BE DISCHARGED FROM THE SITE WITH STORMWATER. ALL SOLID WASTE, INCLUDING DISPOSABLE MATERIALS INCIDENTAL TO THE MAJOR CONSTRUCTION ACTIVITIES, MUST BE COLLECTED AND PLACED IN CONTAINERS. THE CONTAINERS WILL BE EMPTIED PERIODICALLY BY A CONTRACT TRASH DISPOSAL SERVICE AND HAULED AWAY FROM THE SITE.

SUBSTANCES THAT HAVE THE POTENTIAL FOR POLLUTING SURFACE AND/OR GROUNDWATER MUST BE CONTROLLED BY WHATEVER MEANS NECESSARY IN ORDER TO ENSURE THAT THEY DO NOT DISCHARGE FROM THE SITE. AS AN EXAMPLE, SPECIAL CARE MUST BE EXERCISED DURING EQUIPMENT FUELING AND SERVICING OPERATIONS. IF A SPILL OCCURS, IT MUST BE CONTAINED AND DISPOSED SO THAT IT WILL NOT FLOW FROM THE SITE OR ENTER GROUNDWATER, EVEN IF THIS REQUIRES REMOVAL, TREATMENT, AND DISPOSAL OF SOIL. IN THIS REGARD, POTENTIALLY POLLUTING SUBSTANCES SHOULD BE HANDLED IN A MANNER CONSISTENT WITH THE IMPACT THEY REPRESENT.

8. WATER SOURCE
NON-STORMWATER COMPONENTS OF SITE DISCHARGE MUST BE CLEAN WATER. WATER USED FOR CONSTRUCTION, WHICH DISCHARGES FROM THE SITE, MUST ORIGINATE FROM A PUBLIC WATER SUPPLY OR PRIVATE WELL APPROVED BY THE HEALTH DEPARTMENT. WATER USED FOR CONSTRUCTION THAT DOES NOT ORIGINATE FROM AN APPROVED PUBLIC SUPPLY MUST NOT DISCHARGE FROM THE SITE. IT CAN BE RETAINED IN THE PONDS UNTIL IT INFILTRATES AND EVAPORATES.

1 CONSTRUCTION WASTE MANAGEMENT PLAN
NOT TO SCALE

EROSION AND SEDIMENT CONTROL MEASURES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", NOVEMBER, 2016.

2. DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.

3. AS MUCH AS IS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS.

4. SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISRUPTION.

5. PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL POINTS OF ENTRY INTO THE PROJECT SITE.

6. SEEDED AREAS TO BE MULCHED WITH STRAW OR HAY MULCH IN ACCORDANCE WITH VEGETATIVE COVER SPECIFICATIONS.

7. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED. THE CONTRACTOR IS TO SUPPLY ALL EQUIPMENT AND WATER.

2 EROSION & SEDIMENT CONTROL NOTES
NOT TO SCALE

PRE-CONSTRUCTION SEQUENCE:

1. NON-DISTURBANCE AREAS SHALL BE MARKED WITH 4-FT ORANGE SNOW FENCING TO TOWN ENGINEER'S SATISFACTION PRIOR TO SITE DISTURBANCE, AND SHALL BE MAINTAINED UNTIL ISSUANCE OF A C.O.

2. HOLD A PRE-CONSTRUCTION MEETING WITH THE OWNER/OPERATOR, SITE ENGINEER, TOWN ENGINEER, TRAINED CONTRACTOR.

3. ALL REQUIRED PERMITS SHALL BE OBTAINED INCLUDING BUT NOT LIMITED TO CITY OF Poughkeepsie BUILDING DEPARTMENT BUILDING PERMIT AND HIGHWAY WORK PERMIT.

CONSTRUCTION SEQUENCE:

1. INSTALL AND STABILIZE TEMPORARY EROSION & SEDIMENT CONTROL MEASURES AS SHOWN ON THE EROSION & SEDIMENT CONTROL PLAN.

2. INSTALL TRAFFIC MOVEMENT PROTECTION MEASURES AND TEMPORARY CONSTRUCTION SIGNS.

3. BEGIN SITE GRADING, DRIVEWAY GRADE CONSTRUCTION AND FOUNDATION EXCAVATION.

4. ROUGH OUT DRIVEWAYS AND PARKING AREA TO SUB-GRADE

5. POUR CONCRETE FOOTINGS AND FOUNDATIONS FOR PROPOSED BUILDING.

6. INSTALL REMAINING SITE UTILITIES AND/OR INFRASTRUCTURE.

7. ALL REQUIRED INSPECTIONS SHALL BE COMPLETED PRIOR TO BACKFILLING FOUNDATIONS AND UTILITIES ETC AS MAY BE REQUIRED.

8. PAVE DRIVEWAY AND INSTALL CURBING ONCE ALL MAJOR WORK ON SITE IS COMPLETE, AS REQUIRED.

9. TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS THAT HAVE OBTAINED FINISHED GRADE ELEVATIONS AS PER THE SOIL RESTORATION DETAIL.

10. SEED AND MULCH ALL DISTURBED AREAS THAT WILL NOT BE RE-DISTURBED FOR AT LEAST 14 DAYS.

REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 1/3 THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS, BEGINS TO DECOMPOSE, OR IN ANYWAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCK PILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.

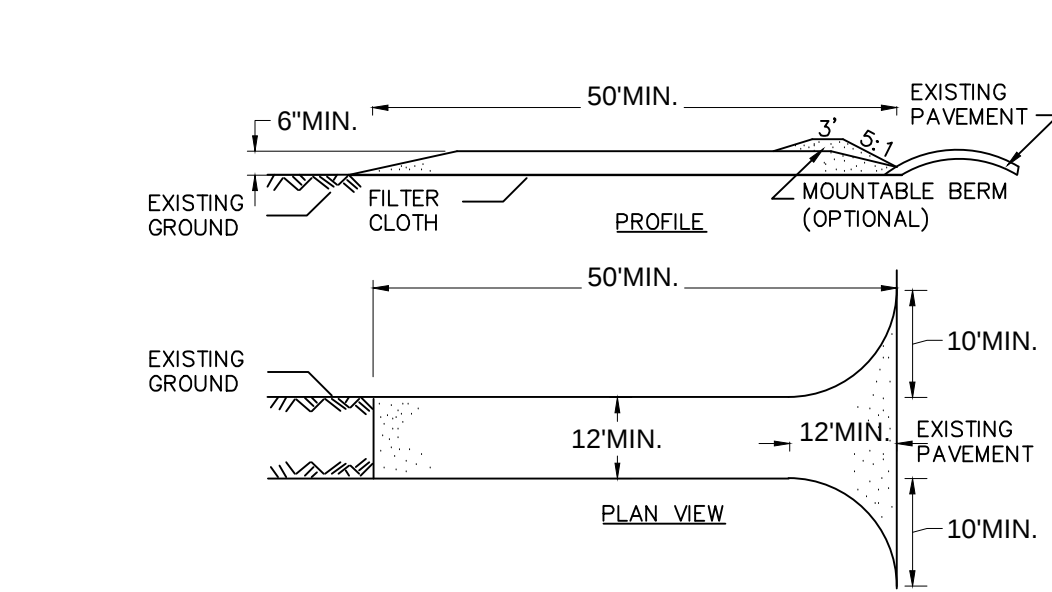
- E. INLET PROTECTION:
INSPECT INLET PROTECTION FOR DAMAGE EVERY SEVEN DAYS. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT AS NECESSARY TO PROVIDE FOR ADEQUATE STORAGE VOLUME FOR SUBSEQUENT RAINS.

- F. DUST CONTROL:
SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORK. APPLY TEMPORARY SOIL STABILIZATION

PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER), STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.

- D. SOIL STOCKPILE:
INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE OR HAY BALE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS. MAKE ALL REPAIRS IMMEDIATELY.

3 SILT FENCE DETAIL
NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

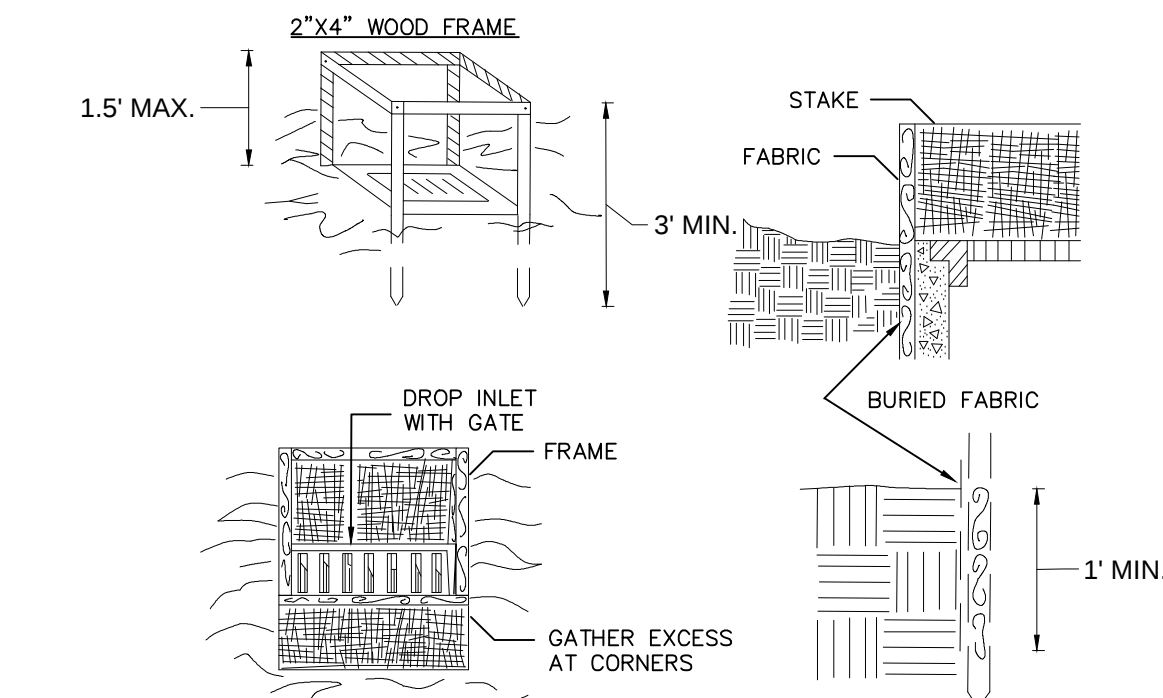
1. STONE SIZE - USE 14 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

6 ANTI-TRACKING PAD DETAIL
NOT TO SCALE

1. ALL SEDIMENT & EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THESE PLANS & DETAILS. CHANGES, OMISSIONS AND/OR OTHER ALTERATIONS CAN NOT BE MADE TO THESE PLANS WITHOUT THE CONSENT OF THE DESIGN ENGINEER.
2. SILT FENCE SHALL BE INSTALLED AS SHOWN ON THIS DRAWING PRIOR TO BEGINNING ANY CLEARING, GRUBBING AND EARTHWORK.
3. EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEEDED WITH THE FOLLOWING GRASS SEED MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION, OR IF PLANNED TO BE LEFT UNDISTURBED FOR MORE THAN 21 DAYS. GRASS SEED MIX TO BE APPLIED AT A RATE OF 50 POUNDS PER ACRE IN THE FOLLOWING PROPORTIONS.

KENTUCKY BLUEGRASS	40%
CREeping RED FESCUE	40%
RYE GRASS	20%

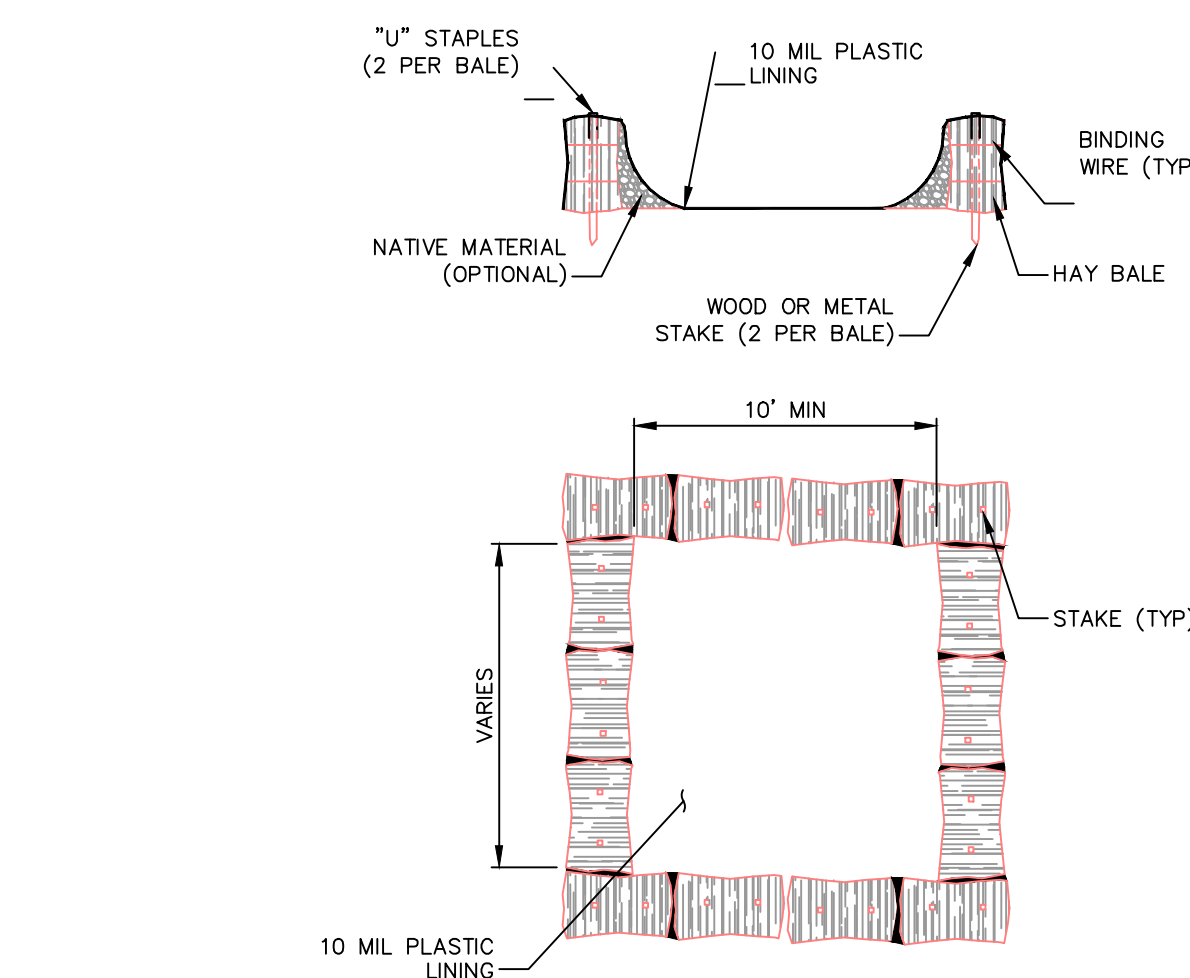
4. GRASS SEED MIX MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE NYSDOT STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS, SECTION 610-3.02, METHOD NO. 1.
5. SEEDED AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE, OR 90 LBS. PER 1,000 SQUARE FEET, SUCH THAT IT FORMS A CONTINUOUS BLANKET.
6. SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE OWNER'S FIELD REPRESENTATIVE.
7. DUST SHALL BE CONTROLLED BY SPRINKLING OF WATER OR OTHER APPROVED METHODS AS NECESSARY AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.
8. CUTS AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTY, NOR DIVERT SURFACE WATER ONTO ADJOINING PROPERTIES.
9. ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIALS AND TO PREVENT SETTLEMENT.
10. EXCAVATIONS AND FILLS TO BE ROLLED, SEALED AND STABILIZED AT COMPLETION OF EACH DAY'S WORK.
11. THE OWNER'S FIELD REPRESENTATIVE SHALL INSPECT THE DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS AND AFTER RAINSTORMS.
12. AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES MAY BE ADDED TO THIS PLAN BY THE SITE ENGINEER, TOWN ENGINEER AND HIGHWAY SUPERINTENDENT. ANY REVISIONS TO THIS PLAN MUST BE SUBMITTED TO THE SITE ENGINEER. ANY CHANGES DEEMED NECESSARY TO THIS PLAN SHALL BE DICTATED BY THE SITE ENGINEER AS NECESSARY TO CARRY-OUT THE INTENT OF THIS PLAN.



CONSTRUCTION SPECIFICATIONS

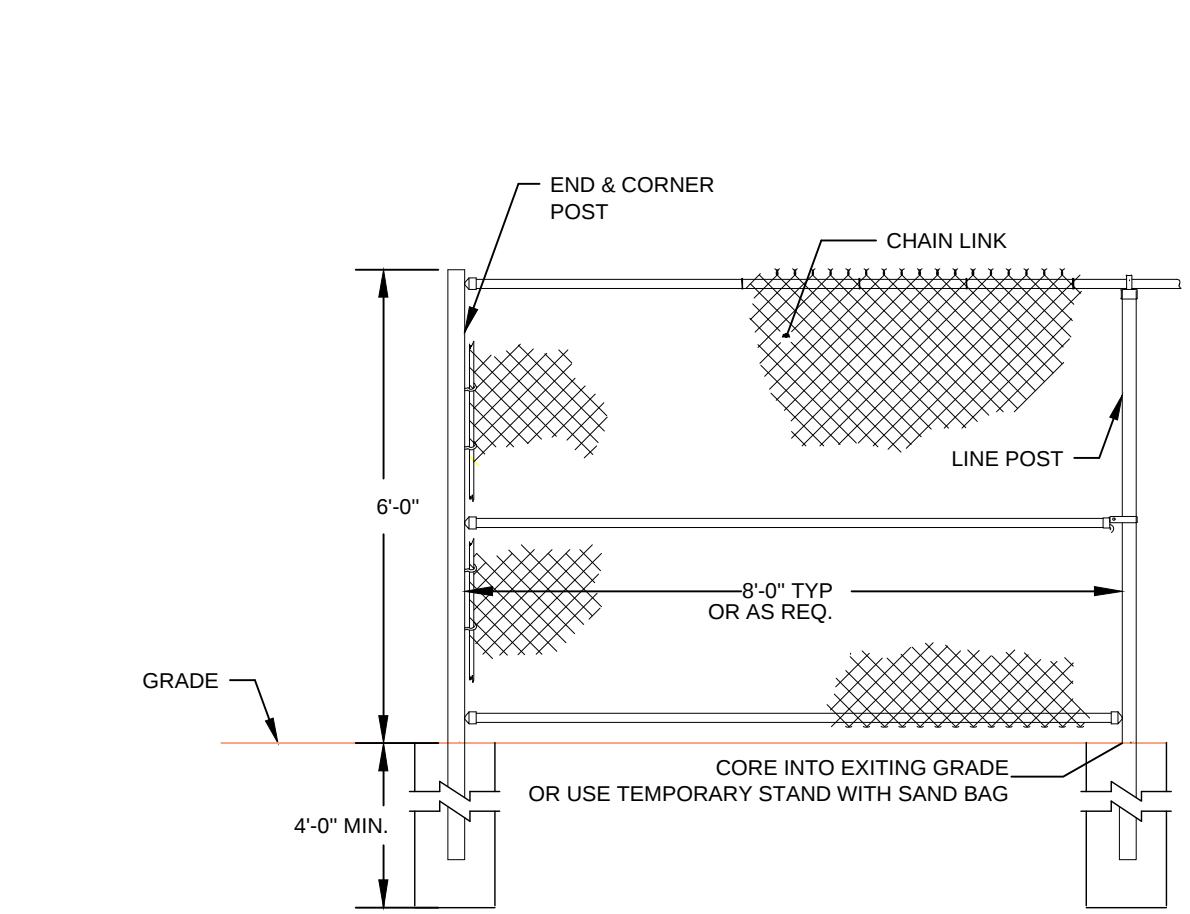
1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND, AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY. MAXIMUM DRAINAGE AREA 1 ACRE

4 DROP INLET PROTECTION
NOT TO SCALE

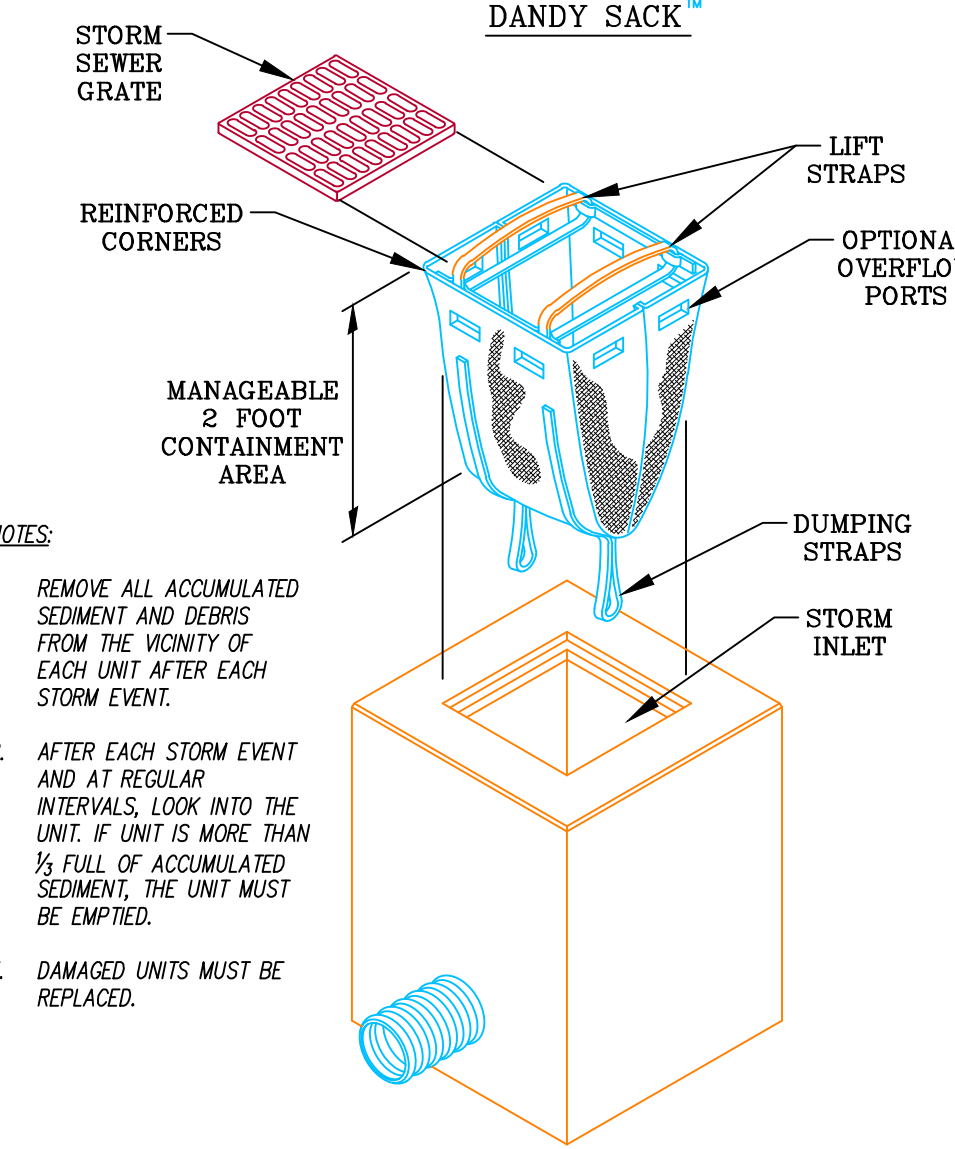


- NOTES:
1. CONCRETE WASHOUT SIGN TO BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 2. REMOVE HARDEN CONCRETE WHEN WITHIN 4" FROM TOP OF STRUCTURE.
 3. CONSTRUCT NEW FACILITIES ONCE CURRENT FACILITIES ARE TWO-THIRDS FULL.
 4. LINERS, HAYBALES, ETC SHALL BE INSPECTED FOR DAMAGE. ANY DAMAGE SHALL BE REPAIR PROMPTLY.

7 TEMPORARY CONCRETE WASHOUT DETAIL
NOT TO SCALE

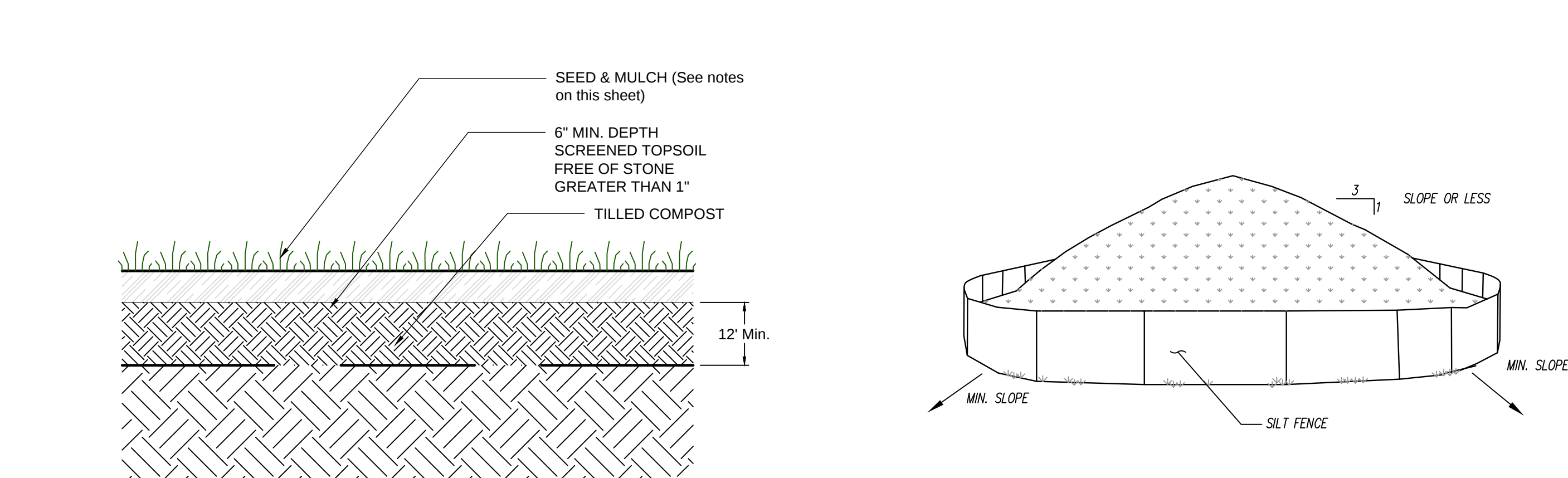


- NOTES:
1. FENCING, POSTS, & GATE SHALL BE GALVANIZED TO PREVENT CORROSION.
 2. GATE SHALL BE PROVIDED WITH A LOCKING MECHANISM.
 3. TOTAL HEIGHT OF FENCING SHALL BE 6'-0" FROM FINISHED GROUND ELEVATION.



- NOTES:
1. REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM THE VICINITY OF EACH UNIT AFTER EACH STORM EVENT.
 2. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE UNIT. IF UNIT IS MORE THAN 1/2 FULL OF ACCUMULATED SEDIMENT, THE UNIT MUST BE EMPTIED.
 3. DAMAGED UNITS MUST BE REPLACED.

5 CONSTRUCTION SEQUENCE
NOT TO SCALE

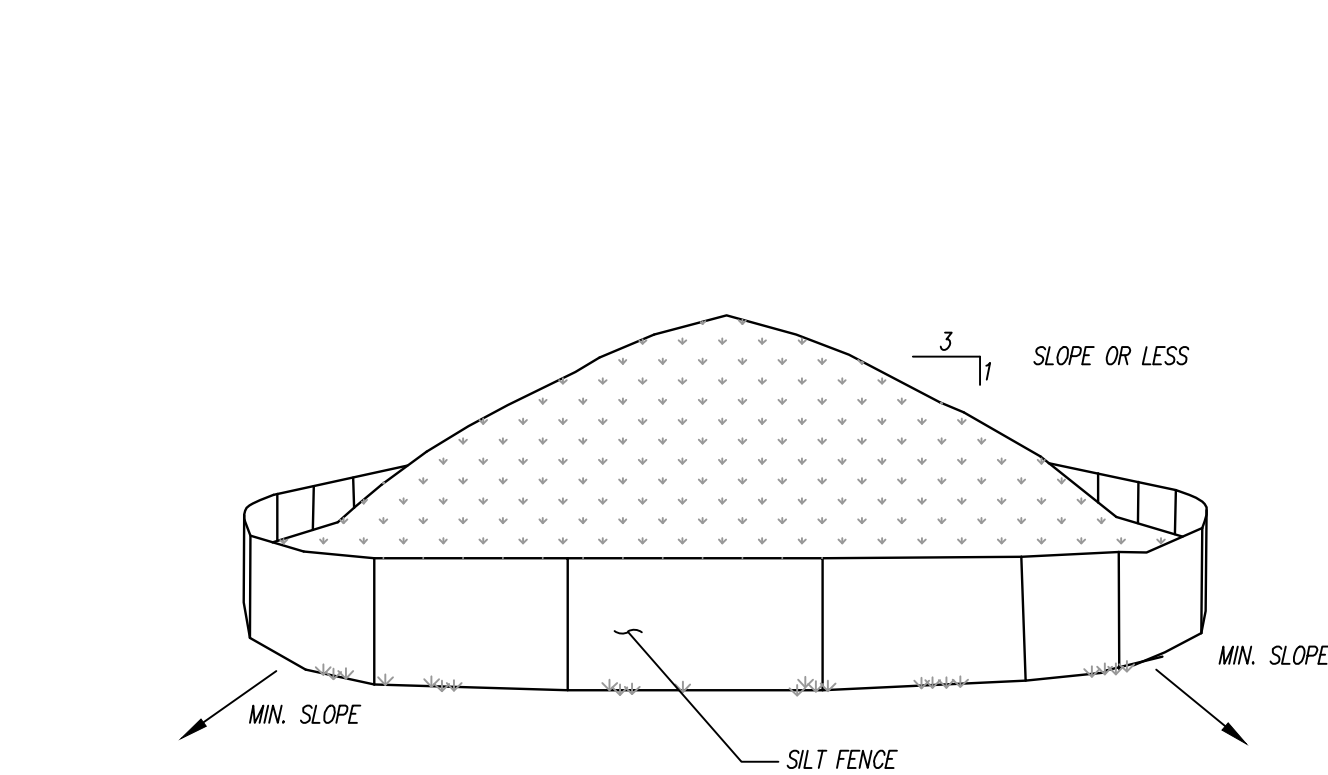


DURING PERIODS OF RELATIVELY LOW MODERATE SUBSOIL MOISTURE, THE DISTURBED SUBSOILS ARE RETURNED TO ROUGH GRADE AND THE FOLLOWING SOIL RESTORATION STEPS APPLIED:

1. APPLY 3 INCHES OF COMPOST OVER SUBSOIL
2. TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC, OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUBSOILS.
3. ROCK-PICK UNTIL UPLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OF THE SITE.
4. APPLY TOPSOIL TO A DEPTH OF 6 INCHES.
5. VEGETATE AS REQUIRED BY APPROVED PLANS.

8 SOIL RESTORATION DETAIL
NOT TO SCALE

9 TEMPORARY SOIL STOCKPILE DETAIL
NOT TO SCALE



- NOTES:
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1V:2H.
 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.
 4. SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE.
 5. HAYBALES TO BE USED WHERE STOCKPILES ARE LOCATED ON PAVED AREAS.

10 SEEDING & MULCHING NOTES
NOT TO SCALE

11 TEMPORARY CHAIN LINK FENCE
NOT TO SCALE

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Mark A. Day, PE	
Revised	Project No. 2022.231
License No. 069646	
DAY STOKOSA ENGINEERING P.C.	
3 Van Wyck Lane Wappingers Falls, New York (845)-223-3202	
PROJECT: 9 Dutchess	
CITY: City of Poughkeepsie DUTCHESS COUNTY, New York	
Erosion Details	
SCALE: AS NOTED	DRAWN BY: BJW
DATE: 10/11/23	CHECKED BY: MAD
CE501	
12 of 12	

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees ☐ Yes ☐ No		
b. City, Town or Village Planning Board or Commission ☐ Yes ☐ No		
c. City, Town or Village Zoning Board of Appeals ☐ Yes ☐ No		
d. Other local agencies ☐ Yes ☐ No		
e. County agencies ☐ Yes ☐ No		
f. Regional agencies ☐ Yes ☐ No		
g. State agencies ☐ Yes ☐ No		
h. Federal agencies ☐ Yes ☐ No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		☐ Yes ☐ No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		☐ Yes ☐ No
iii. Is the project site within a Coastal Erosion Hazard Area?		☐ Yes ☐ No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐ Yes ☐ No	
• If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☐ Yes ☐ No	
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☐ Yes ☐ No	
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☐ Yes ☐ No	
If Yes, identify the plan(s): _____ _____ _____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐ Yes ☐ No	
If Yes, identify the plan(s): _____ _____ _____	

C.3. Zoning	
a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. If Yes, what is the zoning classification(s) including any applicable overlay district?	□ Yes □ No
b. Is the use permitted or allowed by a special or conditional use permit?	□ Yes □ No
c. Is a zoning change requested as part of the proposed action? If Yes,	□ Yes □ No
i. What is the proposed new zoning for the site? _____	
C.4. Existing community services.	
a. In what school district is the project site located? _____	
b. What police or other public protection forces serve the project site? _____	
c. Which fire protection and emergency medical services serve the project site? _____	
d. What parks serve the project site? _____ _____	

D. Project Details

D.1. Proposed and Potential Development	
a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? _____	
b. a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres	
c. Is the proposed action an expansion of an existing project or use? □ Yes □ No i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____	
d. Is the proposed action a subdivision, or does it include a subdivision? □ Yes □ No If Yes, i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) _____ ii. Is a cluster/conservation layout proposed? □ Yes □ No iii. Number of lots proposed? _____ iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____	
e. Will the proposed action be constructed in multiple phases? □ Yes □ No i. If No, anticipated period of construction: _____ months ii. If Yes: • Total number of phases anticipated _____ • Anticipated commencement date of phase 1 (including demolition) _____ month _____ year • Anticipated completion date of final phase _____ month _____ year • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____ 	

f. Does the project include new residential uses? ☐ Yes ☐ No If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? ☐ Yes ☐ No If Yes,	
i. Total number of structures _____ ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length iii. Approximate extent of building space to be heated or cooled: _____ square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? ☐ Yes ☐ No If Yes,	
i. Purpose of the impoundment: _____ ii. If a water impoundment, the principal source of the water: ☐ Ground water ☐ Surface water streams ☐ Other specify: _____ iii. If other than water, identify the type of impounded/contained liquids and their source. _____ iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____	

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? ☐ Yes ☐ No (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) If Yes:	
i. What is the purpose of the excavation or dredging? _____ ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site? • Volume (specify tons or cubic yards): _____ • Over what duration of time? _____ iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____ _____ iv. Will there be onsite dewatering or processing of excavated materials? ☐ Yes ☐ No If yes, describe. _____ _____ v. What is the total area to be dredged or excavated? _____ acres vi. What is the maximum area to be worked at any one time? _____ acres vii. What would be the maximum depth of excavation or dredging? _____ feet viii. Will the excavation require blasting? ☐ Yes ☐ No ix. Summarize site reclamation goals and plan: _____ _____ _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? ☐ Yes ☐ No If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____ _____	

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes ☐ No ☐
If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☐ No ☐
If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? ☐ Yes ☐ No ☐
If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☐ Yes ☐ No ☐
If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? ☐ Yes ☐ No ☐
- Is the project site in the existing district? ☐ Yes ☐ No ☐
- Is expansion of the district needed? ☐ Yes ☐ No ☐
- Do existing lines serve the project site? ☐ Yes ☐ No ☐

iii. Will line extension within an existing district be necessary to supply the project? ☐ Yes ☐ No ☐
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☐ No ☐
If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? ☐ Yes ☐ No ☐
If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? ☐ Yes ☐ No ☐
If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? ☐ Yes ☐ No ☐
- Is the project site in the existing district? ☐ Yes ☐ No ☐
- Is expansion of the district needed? ☐ Yes ☐ No ☐

• Do existing sewer lines serve the project site? _____ • Will a line extension within an existing district be necessary to serve the project? _____ If Yes: • Describe extensions or capacity expansions proposed to serve this project: _____	☐ Yes ☐ No ☐ Yes ☐ No
iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? _____	
If Yes: • Applicant/sponsor for new district: _____ • Date application submitted or anticipated: _____ • What is the receiving water for the wastewater discharge? _____	
v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans): _____	
vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____	
e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? _____	
If Yes: i. How much impervious surface will the project create in relation to total size of project parcel? _____ Square feet or _____ acres (impervious surface) _____ Square feet or _____ acres (parcel size) ii. Describe types of new point sources. _____	
iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? _____	

• If to surface waters, identify receiving water bodies or wetlands: _____	

• Will stormwater runoff flow to adjacent properties? _____	
iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? _____	
f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? _____	
If Yes, identify: i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____ ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____ iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____	
g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? _____	
If Yes: i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) _____ ii. In addition to emissions as calculated in the application, the project will generate: • _____ Tons/year (short tons) of Carbon Dioxide (CO₂) • _____ Tons/year (short tons) of Nitrous Oxide (N₂O) • _____ Tons/year (short tons) of Perfluorocarbons (PFCs) • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆) • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs) • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)	

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? ☐ Yes ☐ No If Yes: i. Estimate methane generation in tons/year (metric): _____ ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____			
i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? ☐ Yes ☐ No If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____			
j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? ☐ Yes ☐ No If Yes: i. When is the peak traffic expected (Check all that apply): ☐ Morning ☐ Evening ☐ Weekend ☐ Randomly between hours of _____ to _____. ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____ iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____ iv. Does the proposed action include any shared use parking? Yes ☐ No ☐ v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____ vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? ☐ Yes ☐ No vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? ☐ Yes ☐ No viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? ☐ Yes ☐ No			
k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? ☐ Yes ☐ No If Yes: i. Estimate annual electricity demand during operation of the proposed action: _____ ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____ iii. Will the proposed action require a new, or an upgrade, to an existing substation? ☐ Yes ☐ No			
l. Hours of operation. Answer all items which apply. <table style="width: 100%;"> <tr> <td style="width: 50%; vertical-align: top;"> i. During Construction: • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ </td> <td style="width: 50%; vertical-align: top;"> ii. During Operations: • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ </td> </tr> </table>		i. During Construction: • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____	ii. During Operations: • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____
i. During Construction: • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____	ii. During Operations: • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____		

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? ☐ Yes ☐ No If yes: i. Provide details including sources, time of day and duration: _____ _____	
ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? ☐ Yes ☐ No Describe: _____ _____	
n. Will the proposed action have outdoor lighting? ☐ Yes ☐ No If yes: i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures: _____ _____	
ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? ☐ Yes ☐ No Describe: _____ _____	
o. Does the proposed action have the potential to produce odors for more than one hour per day? ☐ Yes ☐ No If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____ _____ _____	
p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? ☐ Yes ☐ No If Yes: i. Product(s) to be stored _____ ii. Volume(s) _____ per unit time _____ (e.g., month, year) iii. Generally, describe the proposed storage facilities: _____ _____	
q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? ☐ Yes ☐ No If Yes: i. Describe proposed treatment(s): _____ _____ _____	
ii. Will the proposed action use Integrated Pest Management Practices? ☐ Yes ☐ No	
r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? ☐ Yes ☐ No If Yes: i. Describe any solid waste(s) to be generated during construction or operation of the facility: • Construction: _____ tons per _____ (unit of time) • Operation : _____ tons per _____ (unit of time) ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste: • Construction: _____ _____ • Operation: _____ _____ iii. Proposed disposal methods/facilities for solid waste generated on-site: • Construction: _____ _____ • Operation: _____ _____	

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☐ No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☐ No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site			
a. Existing land uses. i. Check all uses that occur on, adjoining and near the project site. ☐ Urban ☐ Industrial ☐ Commercial ☐ Residential (suburban) ☐ Rural (non-farm) ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____ ii. If mix of uses, generally describe: _____ _____			
b. Land uses and coverytypes on the project site.			
Land use or Coverytype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation? ☐ Yes ☐ No i. If Yes: explain: _____	
d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? ☐ Yes ☐ No If Yes, i. Identify Facilities: _____ _____	
e. Does the project site contain an existing dam? ☐ Yes ☐ No If Yes: i. Dimensions of the dam and impoundment: • Dam height: _____ feet • Dam length: _____ feet • Surface area: _____ acres • Volume impounded: _____ gallons OR acre-feet ii. Dam's existing hazard classification: _____ iii. Provide date and summarize results of last inspection: _____ _____	
f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? ☐ Yes ☐ No If Yes: i. Has the facility been formally closed? ☐ Yes ☐ No • If yes, cite sources/documentation: _____ ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____ _____ iii. Describe any development constraints due to the prior solid waste activities: _____ _____	
g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? ☐ Yes ☐ No If Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____ _____	
h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? ☐ Yes ☐ No If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: ☐ Yes ☐ No ☐ Yes – Spills Incidents database ☐ Yes – Environmental Site Remediation database ☐ Neither database Provide DEC ID number(s): _____ Provide DEC ID number(s): _____ ii. If site has been subject of RCRA corrective activities, describe control measures: _____ _____ iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? ☐ Yes ☐ No If yes, provide DEC ID number(s): _____ iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____ _____	

v. Is the project site subject to an institutional control limiting property uses? ☐ Yes ☐ No - If yes, DEC site ID number: _____ - Describe the type of institutional control (e.g., deed restriction or easement): _____ - Describe any use limitations: _____ - Describe any engineering controls: _____ - Will the project affect the institutional or engineering controls in place? ☐ Yes ☐ No - Explain: _____ _____
E.2. Natural Resources On or Near Project Site
a. What is the average depth to bedrock on the project site? _____ feet
b. Are there bedrock outcroppings on the project site? ☐ Yes ☐ No If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %
c. Predominant soil type(s) present on project site: _____ % _____ % _____ %
d. What is the average depth to the water table on the project site? Average: _____ feet
e. Drainage status of project site soils: ☐ Well Drained: _____ % of site ☐ Moderately Well Drained: _____ % of site ☐ Poorly Drained _____ % of site
f. Approximate proportion of proposed action site with slopes: ☐ 0-10%: _____ % of site ☐ 10-15%: _____ % of site ☐ 15% or greater: _____ % of site
g. Are there any unique geologic features on the project site? ☐ Yes ☐ No If Yes, describe: _____ _____
h. Surface water features. i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? ☐ Yes ☐ No ii. Do any wetlands or other waterbodies adjoin the project site? ☐ Yes ☐ No If Yes to either <i>i</i> or <i>ii</i> , continue. If No, skip to E.2.i. iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? ☐ Yes ☐ No iv. For each identified regulated wetland and waterbody on the project site, provide the following information: - Streams: Name _____ Classification _____ - Lakes or Ponds: Name _____ Classification _____ - Wetlands: Name _____ Approximate Size _____ - Wetland No. (if regulated by DEC) _____
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? ☐ Yes ☐ No If yes, name of impaired water body/bodies and basis for listing as impaired: _____ _____
i. Is the project site in a designated Floodway? ☐ Yes ☐ No
j. Is the project site in the 100-year Floodplain? ☐ Yes ☐ No
k. Is the project site in the 500-year Floodplain? ☐ Yes ☐ No
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? ☐ Yes ☐ No If Yes: i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____	
n. Does the project site contain a designated significant natural community? ☐ Yes ☐ No If Yes: i. Describe the habitat/community (composition, function, and basis for designation): _____ ii. Source(s) of description or evaluation: _____ iii. Extent of community/habitat: • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? ☐ Yes ☐ No If Yes: i. Species and listing (endangered or threatened): _____ _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? ☐ Yes ☐ No If Yes: i. Species and listing: _____ _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? ☐ Yes ☐ No If yes, give a brief description of how the proposed action may affect that use: _____ _____	
E.3. Designated Public Resources On or Near Project Site	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? ☐ Yes ☐ No If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? ☐ Yes ☐ No i. If Yes: acreage(s) on project site? _____ ii. Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? ☐ Yes ☐ No If Yes: i. Nature of the natural landmark: ☐ Biological Community ☐ Geological Feature ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? ☐ Yes ☐ No If Yes: i. CEA name: _____ ii. Basis for designation: _____ iii. Designating agency and date: _____	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? ☐ Yes ☐ No If Yes: i. Nature of historic/archaeological resource: ☐ Archaeological Site ☐ Historic Building or District ii. Name: _____ iii. Brief description of attributes on which listing is based: _____
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? ☐ Yes ☐ No
g. Have additional archaeological or historic site(s) or resources been identified on the project site? ☐ Yes ☐ No If Yes: i. Describe possible resource(s): _____ ii. Basis for identification: _____
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? ☐ Yes ☐ No If Yes: i. Identify resource: _____ ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____ iii. Distance between project and resource: _____ miles.
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? ☐ Yes ☐ No If Yes: i. Identify the name of the river and its designation: _____ ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? ☐ Yes ☐ No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

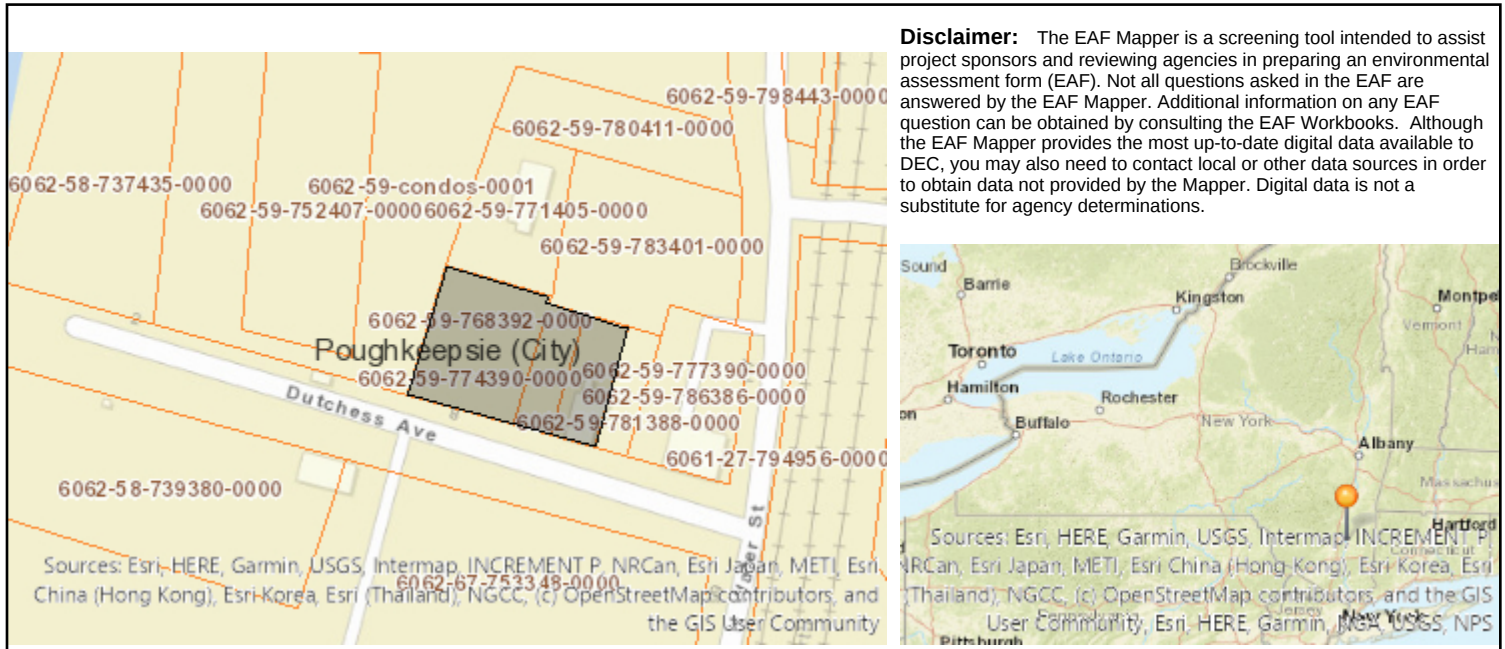
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name _____ Date _____

Signature _____ Title _____



B.i.i [Coastal or Waterfront Area]	Yes
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	Remediation Sites:C314081A
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Yes - Digital mapping data for Spills Incidents are not available for this location. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Yes
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Yes
E.1.h.i [DEC Spills or Remediation Site - DEC ID Number]	C314081A
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	314070, C314070, C314081A, C314123, C314124, 546031
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No

E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes
E.2.o. [Endangered or Threatened Species - Name]	Atlantic Sturgeon, Bald Eagle, Shortnose Sturgeon
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National or State Register of Historic Places or State Eligible Sites - Name]	Poughkeepsie Railroad Bridge
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No



BUILDING DEPARTMENT

CITY OF POUGHKEEPSIE

62 CIVIC CENTER PLAZA, 2ND FLOOR

POUGHKEEPSIE, NY 12601

Phone: (845) 451-4007 Fax: (845) 451-4006

Eric Philipp
Building Inspector

Amended

STOP WORK ORDER

ID# 131030
December 23, 2022

9 DUTCHESS LLC
241 Hudson St
Hackensack, NJ07601-0000

RE: 9 Dutchess Ave
ID#: 131030
Grid ID#: 6062-59-777390-0000
Complaint Number: 2022-0834

YOU ARE HEREBY ORDERED pursuant to section 6-28 of the Code of Ordinances of the City of Poughkeepsie, New York to **STOP ALL WORK**.

PLEASE BE ADVISED that the Building Inspector has determined that he has reasonable grounds to believe that work on this building is being carried out in violation of applicable laws, ordinances and regulations in that:

Specifically:

Section 19-6.1 (c) requires site plan review for such use, before a permit for work can be issued.

PLEASE BE FURTHER ADVISED that work on this project may not be resumed until:

The work under BP22-0842 must be reviewed by the City Planning Board and approval granted before the stop work order can be lifted.

IN THE EVENT OF YOUR FAILURE TO COMPLY WITH THIS ORDER you may be subject to both criminal prosecution (and liable to a penalty not exceeding one thousand dollars and ten dollars per day for continuing violations) and civil prosecution (and liable to a penalty not to exceed ten dollars per day for each day of violation).

FURTHER INFORMATION WITH REGARD TO THE VIOLATIONS may be obtained by contacting, **Eric Philipp, Building Inspector**, at 451-4007.

Sincerely,

Eric Philipp, Building Inspector

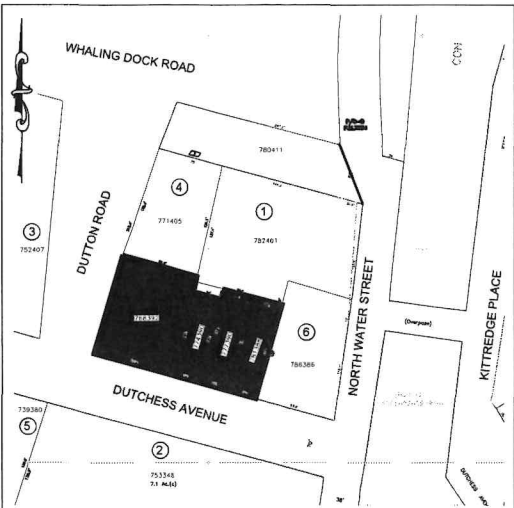
ATTACHMENT 3

Site Plan Set

9 Dutchess Site Plan & Special Use Permit

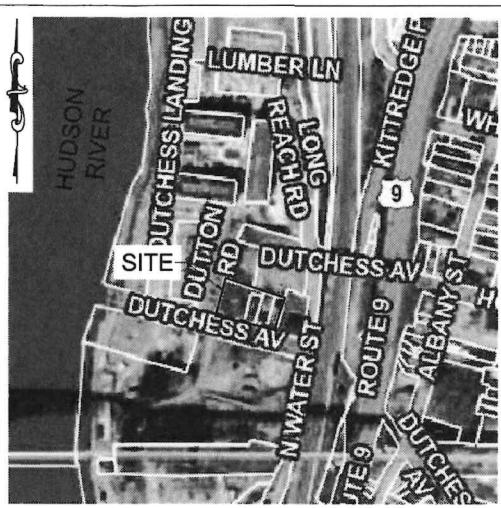
Dutchess Avenue
City of Poughkeepsie

PREPARED FOR
9 Dutchess, LLC
241 Hudson Street
Hackensack, NJ 107601



LOCATION MAP

SCALE: 1" = 100'



AREA MAP

SCALE: 1" = 200'

Adjoining Property Information

- | | | |
|--|---|---|
| 1. 141 North Water Street LLC
135 Water Street
For Property: 131300-6062-59-783401 | 3. One Dutchess Phase 2 LLC
241 Hudson Street
For Property: 131300-6062-59-752407 | 5. CHG&E
For Property: 131300-6062-58-739380 |
| 2. CHG&E
For Property: 131300-6062-67-75348 | 4. 141 North Water Street LLC
35 West Street, suite 202
For Property: 131300-6062-59-771405 | 6. Dutchess Whaling LLC
85 Civic Center Plz
Poughkeepsie, NY 12601
For Property: 131300-6062-59-786386 |

Zone Classification	Waterfront District (W)
Use	Multi-Family Residential* Parking Garage
Tax Map Parcel No	131300-6062-59-781388 (0.078 Ac) 131300-6062-59-777390 (0.104 Ac) 131300-6062-59-774390 (0.079 Ac) 131300-6062-59-768392 (0.26 Ac)
Topographic Datum	NAVD 88
Total Acreage:	0.521 Ac.
Water Supply:	City of Poughkeepsie
Seawage Disposal:	City of Poughkeepsie

* Uses subject to issuance of a special permit by the Planning Board in accordance with the requirements of Section 19-6.2 of the Zoning and Land Use Regulations

Bulk Regulations:	Required	Proposed	Off-street Parking Calculations
Lot Area (square feet)	27,600 ^(a)	22,694.76	19-4.3 Off-street parking loading
Lot Frontage (feet)	50	197.8	Use
Minimum Required Yard	None ^(b)	0.94-ft	Minimum Off-street Parking
Maximum Floor Area Ratio (FAR)	1.25	1.65	1 space for each studio or efficiency apartment; 1.5 spaces for each 1-bedroom apartment; 2.0 spaces for each 2-bedroom or larger apartment
Maximum Lot Coverage	50%	89%	Use
Maximum height of structures exclusive of rooftop mechanicals and ornamentation:	60-ft ^(c)	58.5-ft	2-bedroom 15 units 30 30
Required Open Space (square feet)	9,600 ^(d)		1-bedroom 12 units 18 18
			Subtotal: 48 48
			Visitor Parking add 10% 4.8 56
			Total: 52.8 104

^(a) Minimum required lot per dwelling unit for multifamily dwelling Section 19-3.17: Efficiency/one bedroom units: 800 SF Two-bedroom units: 1,200 SF, Three-bedroom units: 1,600 SF

^(b) Except if provided must be at least six feet

^(c) (i) For structures on the west side of North Water Street between Main Street and the Fallkill Creek: 40 feet, except as provided in Subsection (4)(f)(iii) below

(ii) Elsewhere in the Waterfront District: 60 feet, except as provided in Subsection (4)(f)(iii) below,

(iii) Where structures of maximum height will adversely affect views from the following locations, public parks, the Poughkeepsie Railroad Station, Kat Rock, the Mid-Hudson Bridge, Vassar Brothers Hospital, DeLaval, the steps of Our Lady of Mount Carmel Church, such structures must be reduced to a height that will not impact said views except that in no instance shall buildings be required to be reduced to less than 35 feet in height inclusive of rooftop mechanicals, water towers or ornamentation.

^(d) Section 19-3.15(i) - Required open space. There shall be provided in each multiple dwelling or townhouse development, excluding townhouses on fee simple lots, not less than 200 square feet of usable open space for each efficiency unit; 300 square feet of usable open space for each one-bedroom unit; 400 square feet of usable open space for each two-or-more-bedroom unit. For any development containing more than 15 units, such usable open space shall be devoted to improved and landscaped play and sitting areas for use of residents thereof, and the design and layout of the usable open space shall be subject to approval by the Planning Board.

Table of Contents

Sheet No.	Sheet Title
G-001	1 of 12 Cover Sheet
VE101	2 of 12 Existing Conditions
CS101	3 of 12 Site Plan - Layout
CS102	4 of 12 Site Plan - Traffic
CU101	5 of 12 Utility and Grading
CL101	6 of 12 Landscaping Plan
CP101	7 of 12 Photometrics Plan
CE101	8 of 12 Erosion Control Plan
CS501	9 of 12 Site Details
CS502	10 of 12 Site Details
CU501	11 of 12 Utility Details
CE501	12 of 12 Erosion & Sediment Control Details

GENERAL SITE NOTES

- THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD VERIFY EXISTING SITE CONDITIONS; CORRELATE CONDITIONS WITH THE DRAWINGS; AND, RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS HE/SHE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISIONS OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
- THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
- DRAWINGS ARE NOT TO BE SCALED: USE DIMENSIONS ONLY.
- BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. BUILDING DIMENSION TO BE TAKEN FROM ARCHITECTURAL PLANS. THE ENGINEERING SHALL BE NOTIFIED OF ANY DEVIATION FROM THE CONDITIONS SHOWN ON THE PLANS.
- CONTRACTOR SHALL VERIFY WITH LOCAL UTILITY COMPANY THE LOCATION OF ANY UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATIONS.
- ALL MATERIAL AND WORKMANSHIP IS TO BE GUARANTEED BY THE CONTRACTOR TO BE FREE OF DEFECTS FOR A PERIOD OF ONE YEAR. THE CONTRACTOR AGREES TO CORRECT, WITHOUT CHARGE SUCH CONDITIONS AS MAY OCCUR DURING THE GUARANTEE PERIOD.
- ALL MATERIALS, ASSEMBLIES, CONSTRUCTION AND EQUIPMENT SHOWN HERE ON SHALL BE IN ACCORDANCE WITH
•• BUILDING CODE OF NEW YORK STATE AND SHALL CONFORM TO GENERALLY ACCEPTED STANDARDS.
•• CURRENT PREVAILING MUNICIPAL, COUNTY AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS AND REQUIREMENTS.
•• CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
•• CURRENT MANUFACTURER SPECIFICATION, STANDARDS AND REQUIREMENTS.
- ALL CHANGES AND/OR SUBSTITUTIONS ARE TO BE APPROVED IN WRITING BEFORE BEING INCORPORATED INTO THE WORK.
- CONTRACTOR IS TO REMOVE ALL RUBBISH FROM THE SITE RESULTING FROM HIS WORK DURING THE PROGRESS OF CONSTRUCTION AND SHALL LEAVE THE PREMISES IN A CONDITION SATISFACTORY TO THE OWNER PRIOR TO THE FINAL PAYMENT.

Owner/Applicant

9 Dutchess LLC
241 Hudson Street
Hackensack, NJ 07601

Owner's Consent Note

THE UNDERSIGNED OWNER OF THIS PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON

9 Dutchess LLC, Member DATE

Fire Chief

Police Chief

Building Inspector

City Engineer

Commissioner of Public Works

CITY PLANNING BOARD
CITY OF POUGHKEEPSIE, NEW YORK
SITE PLAN APPROVAL

FILE NO:

PROJECT NAME:

PROJECT LOCATION:

APPLICANT:

OFFICIALLY APPROVED AT THE PLANNING BOARD

MEETING HELD THE ____ DAY OF _____ 2____

PLANNING CHAIR:

DESIGNEE:

DATE SIGNED:

CONDITION(S):

Dig Safely.
New York

Dig Safely and Dig Safely, New York are used under license from Dig Safe Systems, Inc.

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect The Marks
- Dig With Care

800-962-7962
www.digsafelynewyork.com

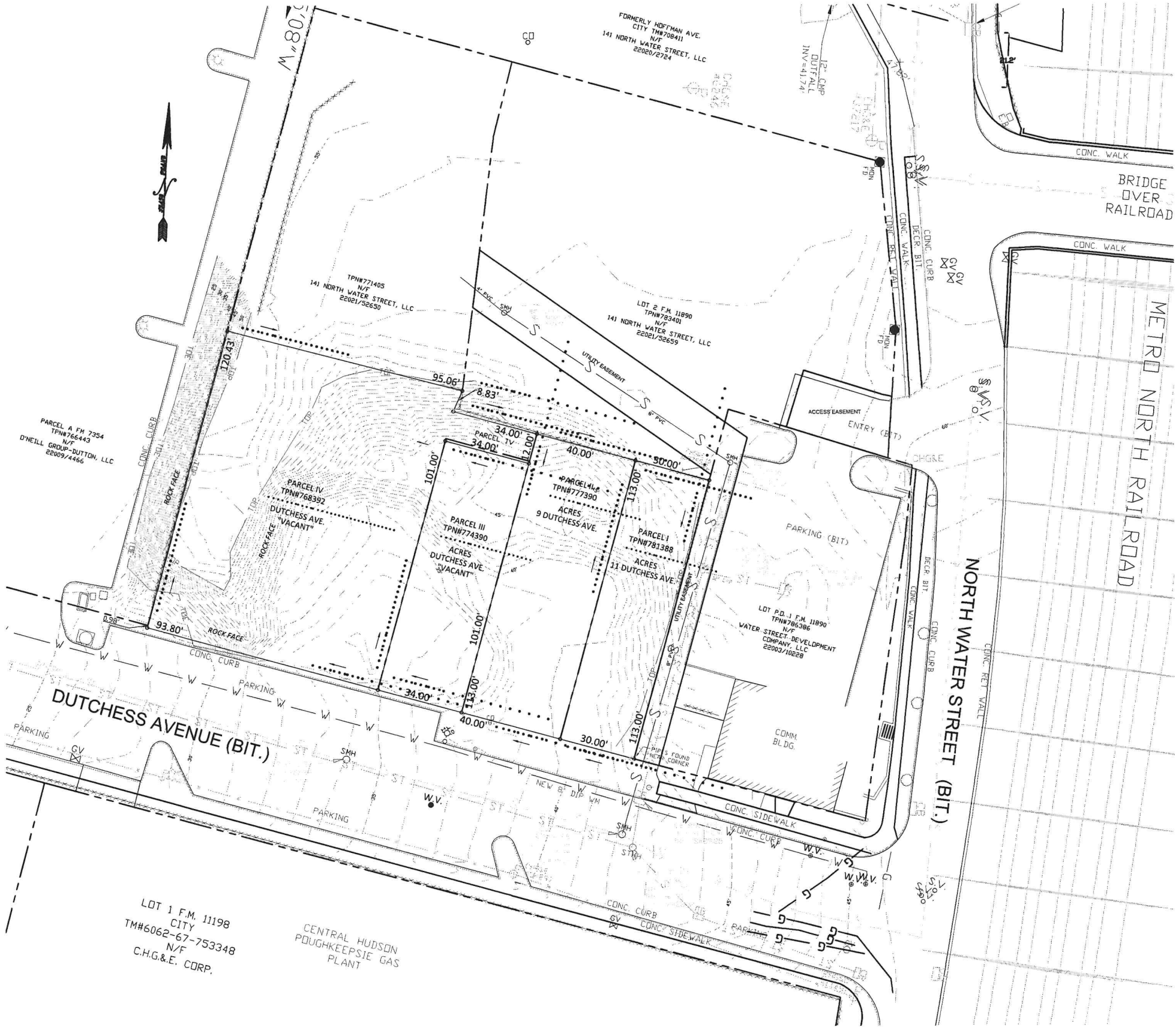
IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Mark A. Day, PE	
REVISIONS	
PROJECT	
2022.231 License No. 069646	
DAY STOKOSA ENGINEERING P.C.	
3 Van Wyck Lane Wappingers Falls, New York (845)-223-3202	
PROJECT	
9 Dutchess	
City of Poughkeepsie Dutchess County, New York	
PROJECT	
Cover Sheet	
SCALE	DRAWN BY
AS NOTED	BJW
DATE	CHECKED BY
10/11/23	MAD
G-101	
1 of 12	

- NOTES:
- 1) DUE TO VAGUE DEED DESCRIPTION, THE BOUNDARIES WERE COMPUTED BASED UPON ADJOINING PARCEL DESCRIPTIONS AND EVIDENCE RECOVERED. NY EAST STATE PLANE DATUM.
- 2) EASEMENT ON PARCEL IV FOR PARCEL III AS PER LIBER 714 PAGE 368.

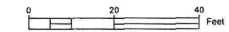
LOT NUMBERS ARE AS SHOWN ON MAP
ENTITLED "SUBDIVISION PLAT FOR WATER STREET
DEVELOPMENT COMPANY, LLC" AND FILED AS
MAP NO. 11890.
TAX PARCEL NUMBERS ARE AS SHOWN ON TAX
MAP 131300-6062-59

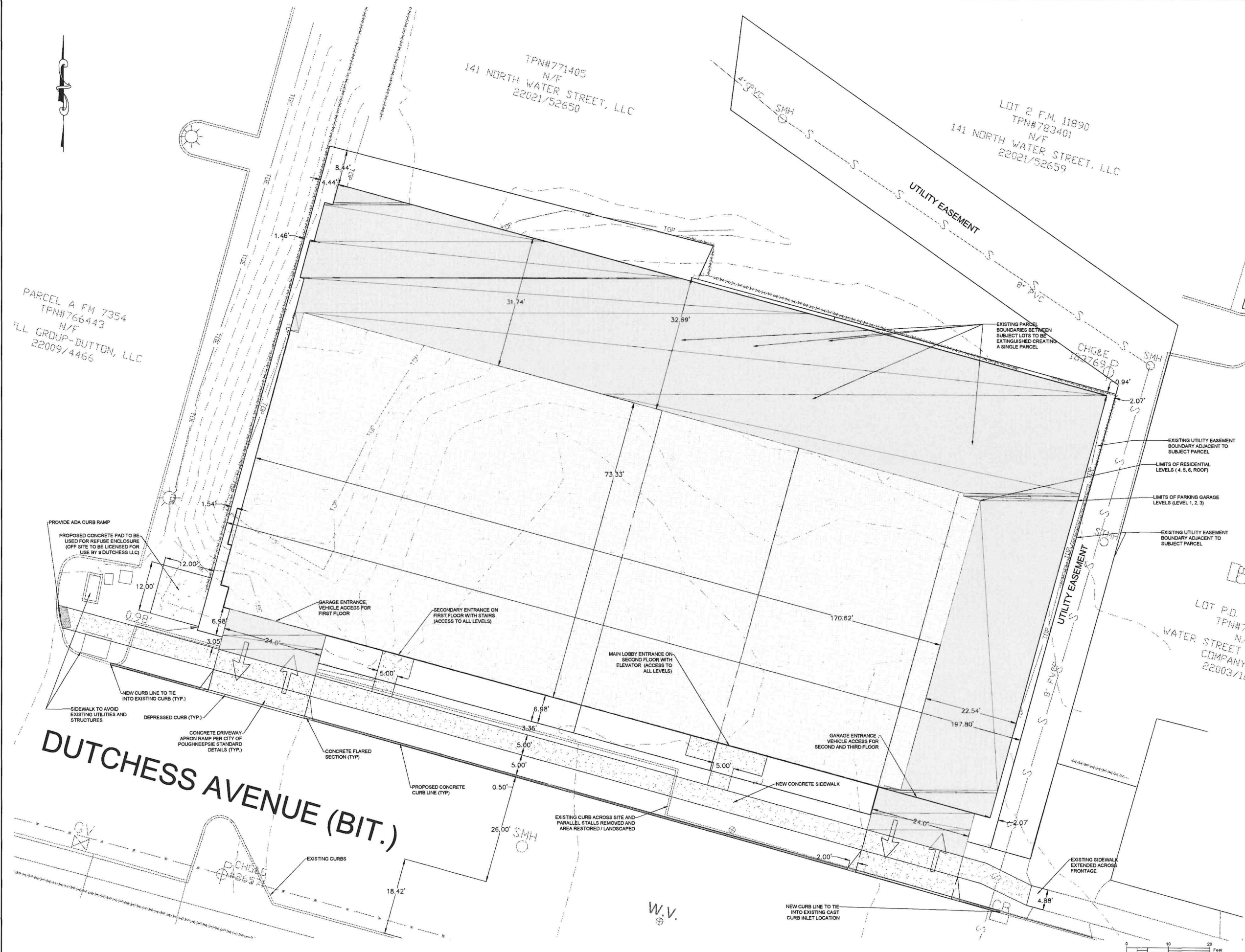
PREPARED BY LARRY L. LYNN, L.S., "GERALD L. LYNN, LAND
SURVEYOR, P.C." 1575 RTE. 376 WAPPINGERS FALLS, NY 12590, (845)
463-2733.
PLAN COMPLETED BY ME OR UNDER MY DIRECT SUPERVISION ON
NOVEMBER 6, 2020. BASED ON A FIELD SURVEY COMPLETED BY ME
OR UNDER MY DIRECT SUPERVISION ON NOVEMBER 5, 2020.
UNAUTHORIZED ALTERATION OR ADDITIONS TO THIS PLAN IS A
VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION
LAW.
SUBJECT TO THE FINDINGS OF A CURRENT TITLE SEARCH.
SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS AND
AGREEMENTS OF RECORD.
COPYRIGHT- 2020 LARRY L. LYNN. ALL RIGHTS RESERVED.



IT IS A VIOLATION OF NEW YORK STATE EDUCATION
LAW FOR ANY PERSONS TO ALTER THESE PLANS,
SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS
ACTING UNDER THE DIRECTION OF A LICENSED
PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Mark A. Day, PE	
2022.231	
License No. 069046	
DAY STOKOSA ENGINEERING P.C.	
3 Van Wyck Lane Wappingers Falls, New York (845)-223-3202	
PROJECT 9 Dutchess	
City of Poughkeepsie Dutchess County, New York	
DRAWING Existing Conditions	
SCALE 1" = 20'	DATE 10/11/23
DRAWN BY BJW	CHECKED BY MAD
VE101 2 of 12	





Bulk Regulations:	Required	Proposed
Lot Area (square feet)	27,600 ^(a)	22,694.76
Lot Frontage (feet)	50	197.8
Minimum Required Yard	None ^(b)	0.94-ft
Maximum Floor Area Ratio (FAR)	1.25	1.65
Maximum Lot Coverage	50%	89%
Maximum height of structures exclusive of rooftop mechanicals and ornamentation;	60-feet ^(c)	58.5-ft
Required Open Space (square feet)	9,600 ^(d)	

(a) Minimum required lot per dwelling unit for multifamily dwelling
Section 19-3.17: Efficiency/one bedroom units: 800 SF
Two-bedroom units; 1,200 SF, Three-bedroom units; 1,600 SF

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	Mark A. Day, PE
Revised	
Project No.	2022-231
	License No. 069646

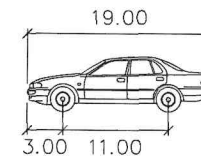
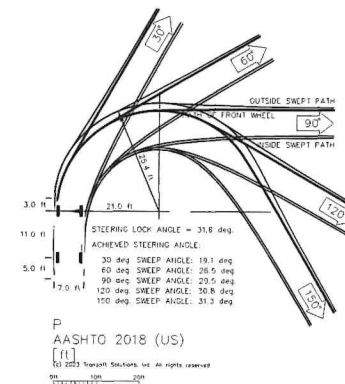
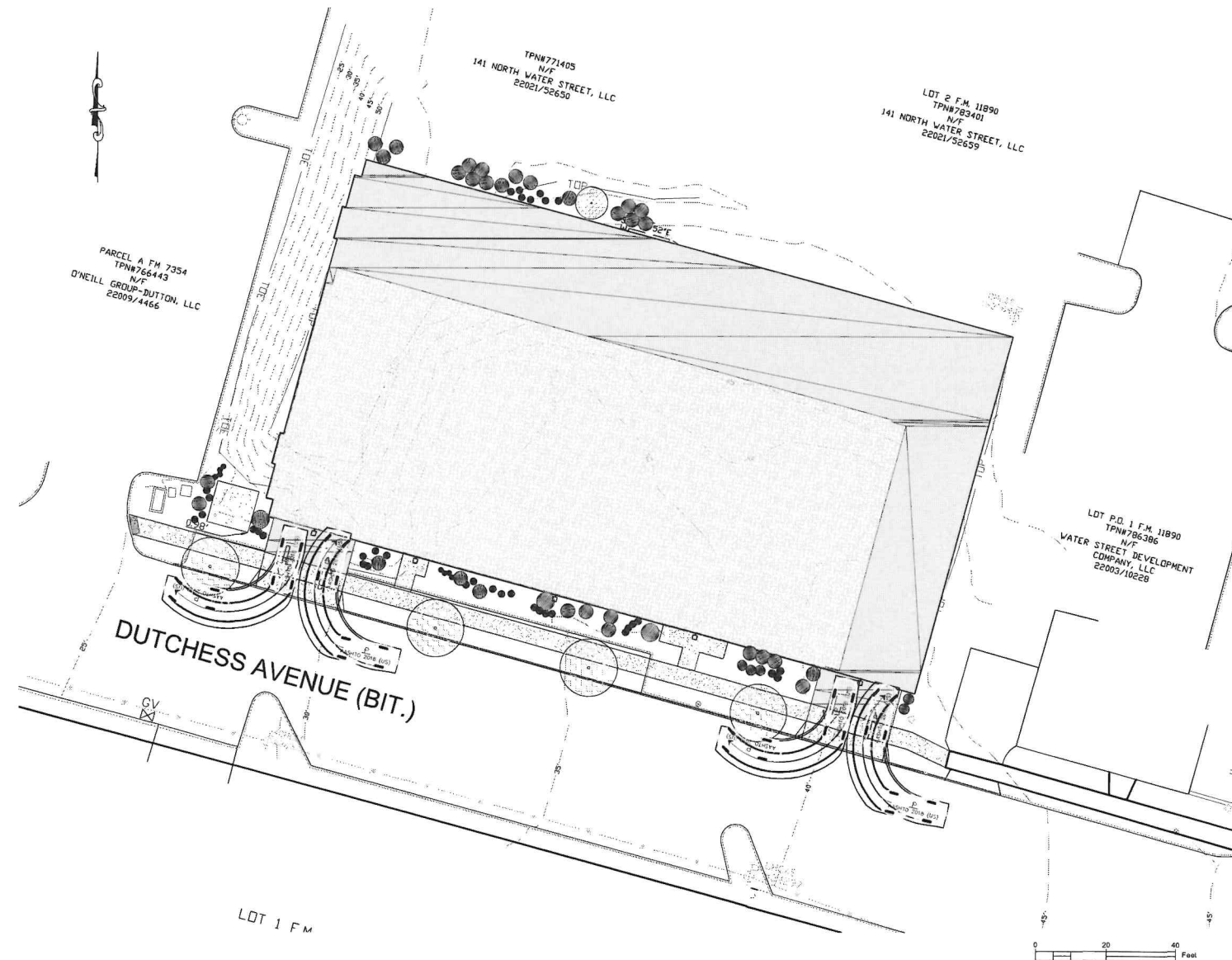
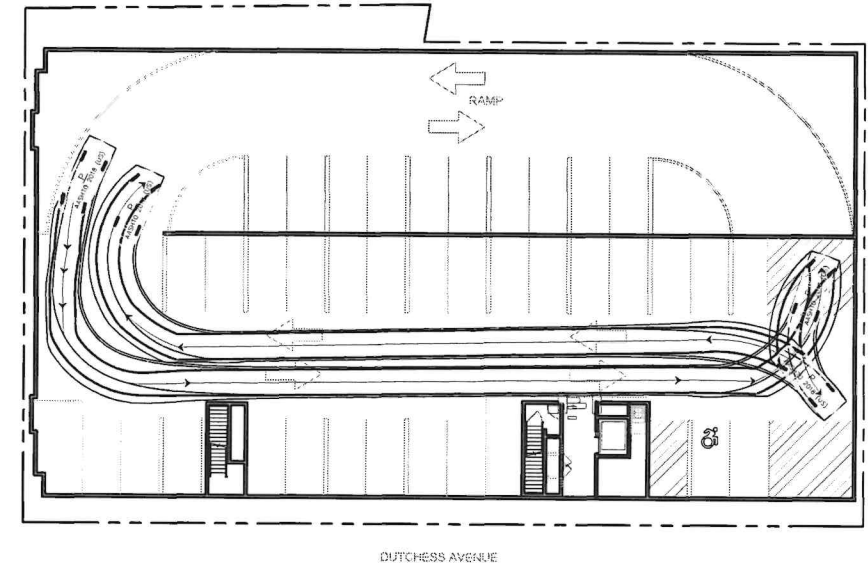
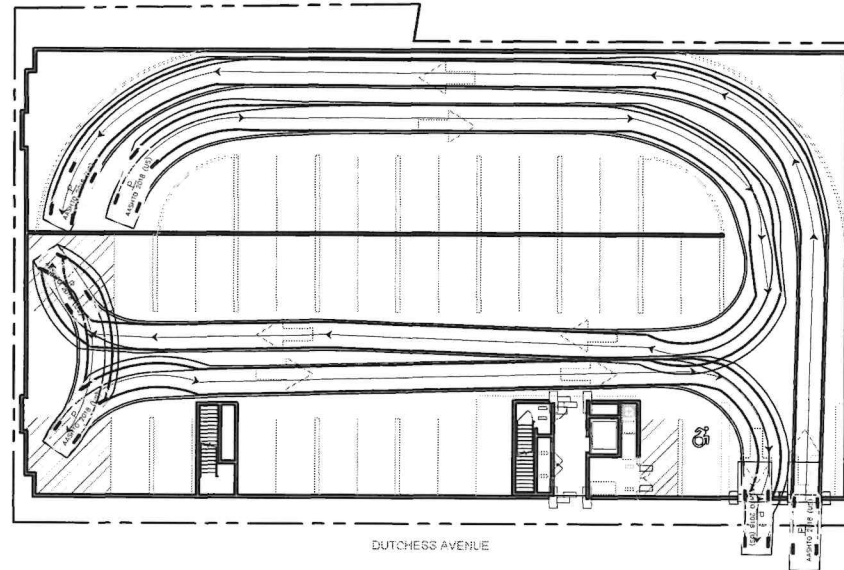
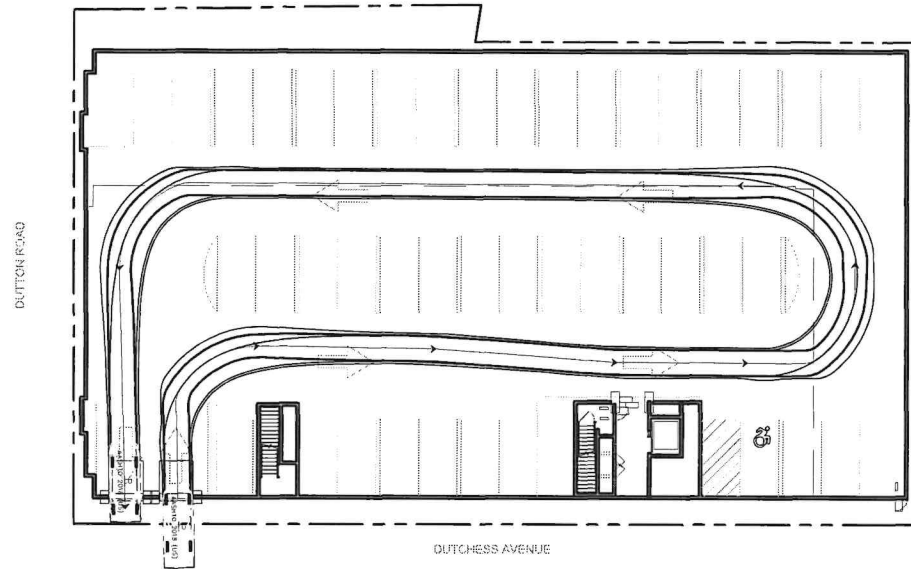
DAY | STOKOSA
ENGINEERING P.C.

3 Van Wyck Lane
Wappingers Falls, New York
(845)-223-3202

PROJECT	9 Dutchess	
	City of Poughkeepsie	Dutchess County, New York

Site Plan

SCALE 1" = 10'	DRAWN BY BJW	SHEET NO. CS101 3 of 12
DATE 10/11/23	CHECKED BY MAD	

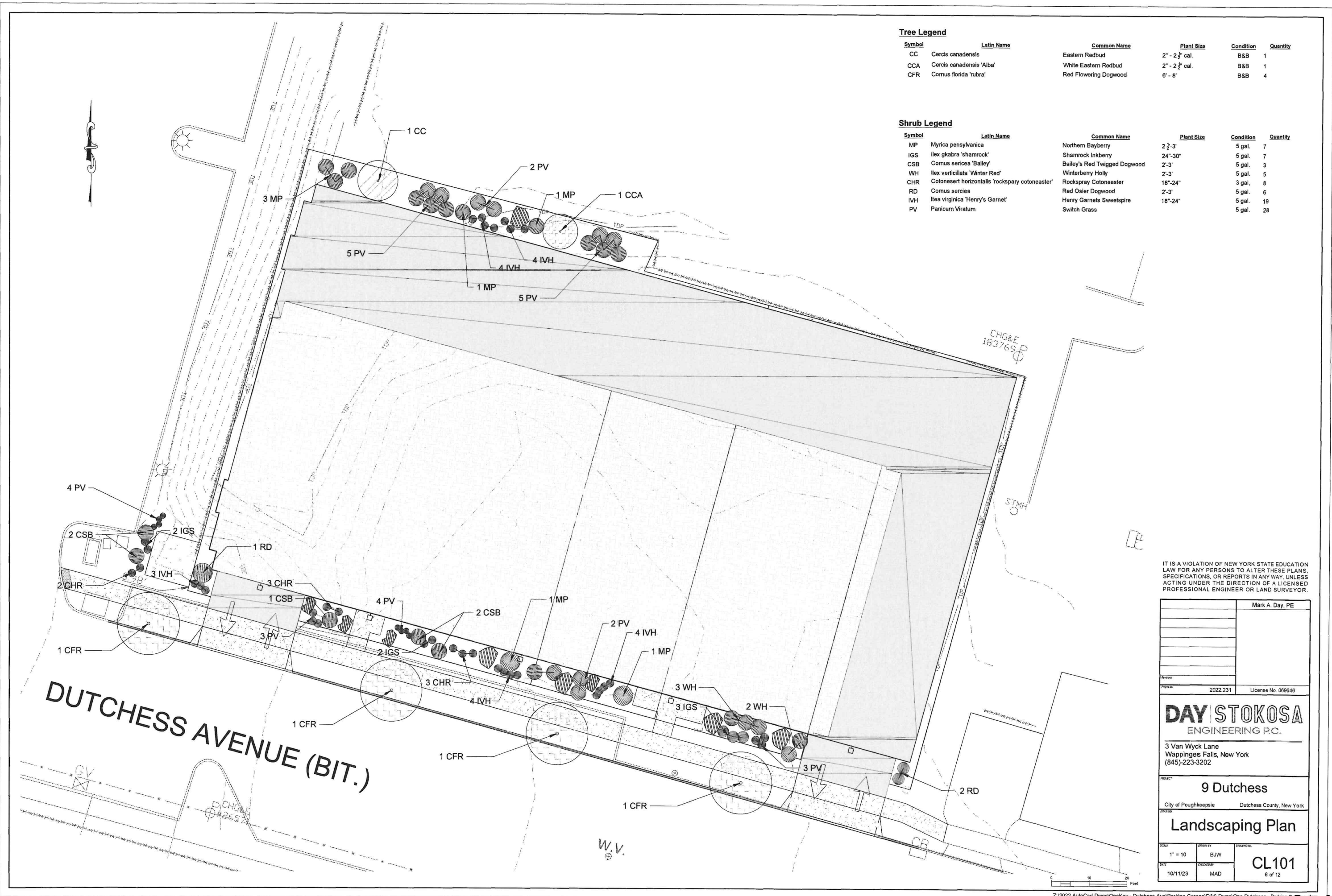


P

Width : 7.00 feet
Track : 6.00
Lock to Lock Time : 6.0
Steering Angle : 31.6

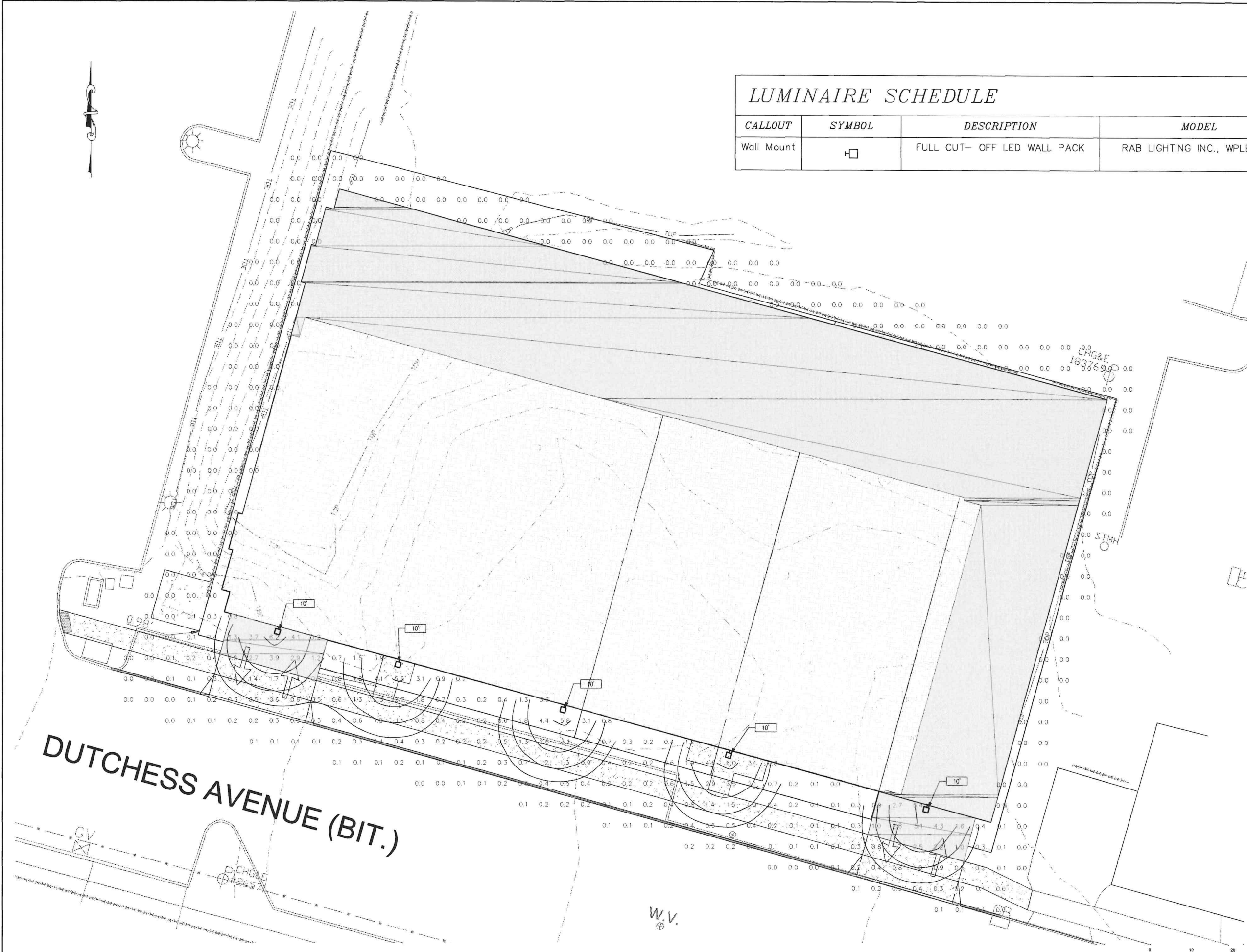
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Mark A. Day, PE	
2022.231 License No. 069646	
DAY STOKOSA ENGINEERING P.C.	
3 Van Wyck Lane Wappingers Falls, New York (845)-223-3202	
PROJECT 9 Dutchess	
City of Poughkeepsie Dutchess County, New York	
DRAWING Traffic Plan	
SCALE 1" = 20'	DRAWN BY BJW
DATE 10/11/23	CHECKED BY MAD
CS102 4 of 12	



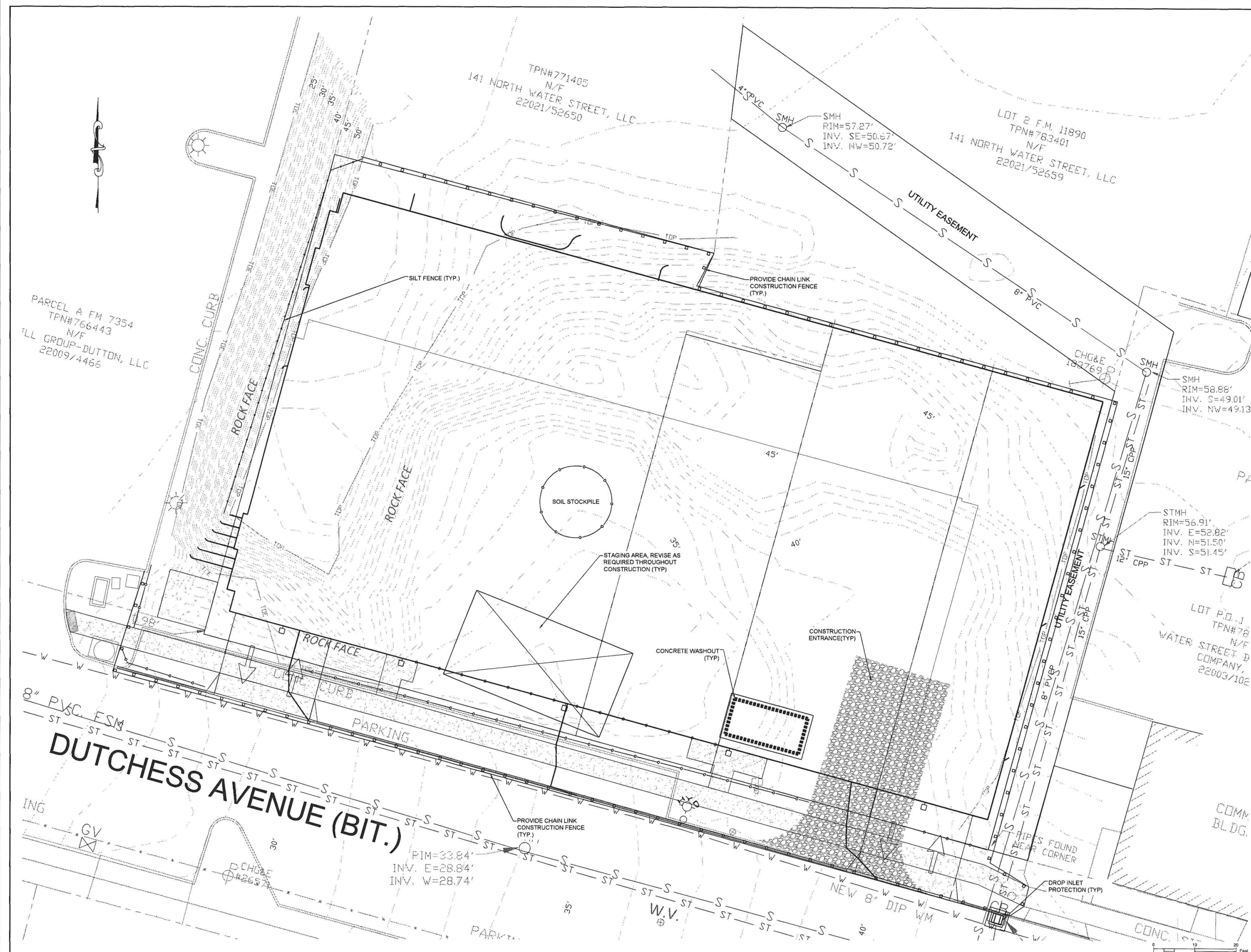
LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	DESCRIPTION	MODEL	QUANTITY
Wall Mount		FULL CUT- OFF LED WALL PACK	RAB LIGHTING INC., WPLED10Y	5



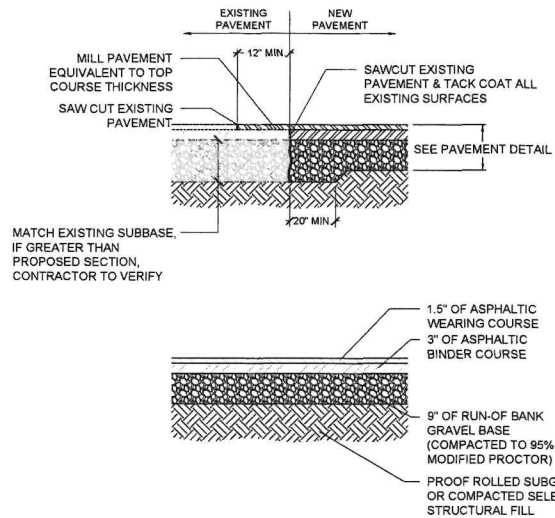
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Mark A. Day, PE	
2022.231 License No. 069646	
DAY STOKOSA ENGINEERING P.C.	
3 Van Wyck Lane Wappingers Falls, New York (845)-223-3202	
PROJECT 9 Dutchess City of Poughkeepsie Dutchess County, New York	
DRAWING Photometrics Plan	
SCALE 1" = 10'	DATE 10/11/23
DRAWN BY BJW	CHECKED BY MAD
QUANTITY CP101 7 of 12	

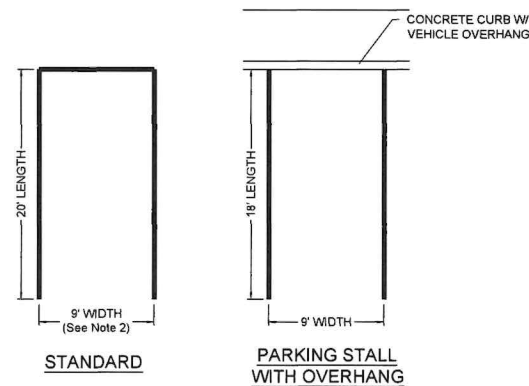


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Mark A. Day, PE	
2022.231 License No. 069646	
DAY STOKOSA ENGINEERING P.C.	
3 Van Wyck Lane Wappingers Falls, New York (845)-223-3202	
PROJECT: 9 Dutchess	
City of Poughkeepsie Dutchess County, New York	
DRAWING: Erosion Control Plan	
SCALE: 1" = 10'	DESIGNED BY: BJW
DATE: 10/11/23	CHECKED BY: MAD
CE101 8 of 12	

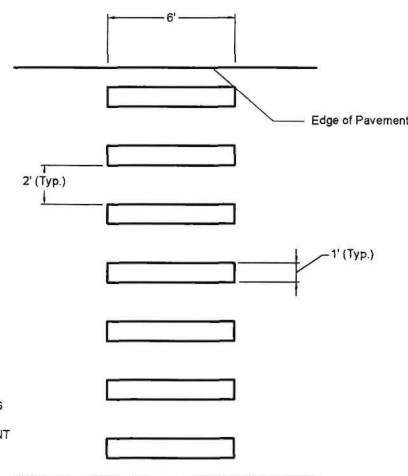


1 PAVEMENT SECTION
NOT TO SCALE

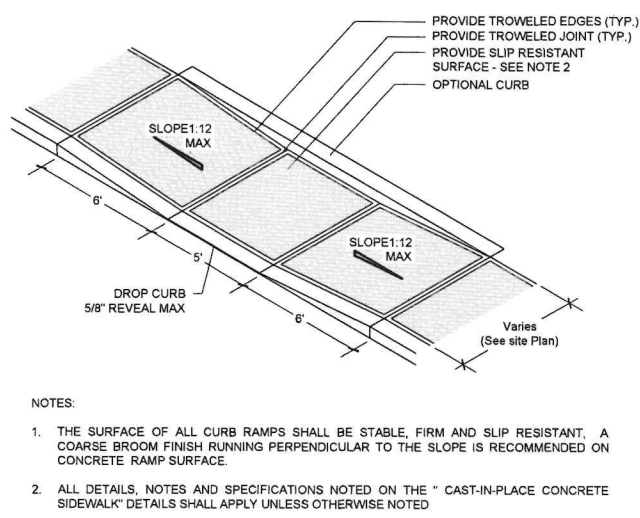


- NOTE:
1. EACH PARKING SPACE SHALL BE AT LEAST NINE FEET WIDE AND 20 FEET LONG IF UNENCLOSED AND AT LEAST 10 FEET WIDE AND 20 FEET LONG IF BORDERED BY WALLS OR COLUMNS IN TWO OR MORE SIDES. WHERE PARKING SPACES ARE DEFINED BY CURBS PROVIDING SPACE FOR OVERHANG OF VEHICLES, SUCH SPACES MAY BE REDUCED IN DEPTH TO 18 FEET.
 2. SPACES SHALL BE MARKED WITH 4 INCH WIDE WHITE LINES, WIDTH MEASUREMENTS OF PARKING SPACES SHALL BE MADE FOR THE CENTERLINE OF THE MARKING.
 3. THE MAXIMUM SLOPE WITHIN A PARKING AREAS SHALL NOT EXCEED 5%

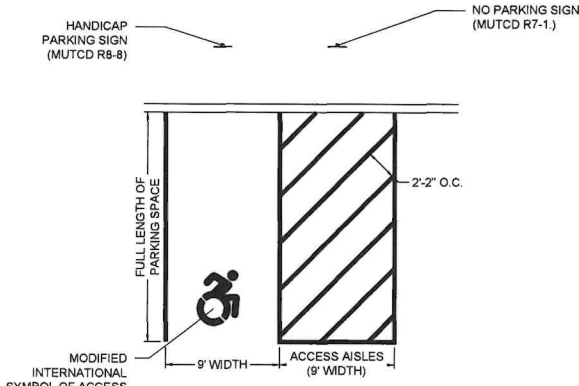
5 PARKING STALL DETAIL
NOT TO SCALE



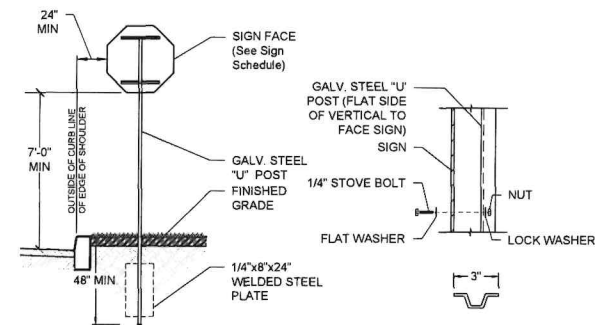
9 CROSSWALK DETAIL
NOT TO SCALE



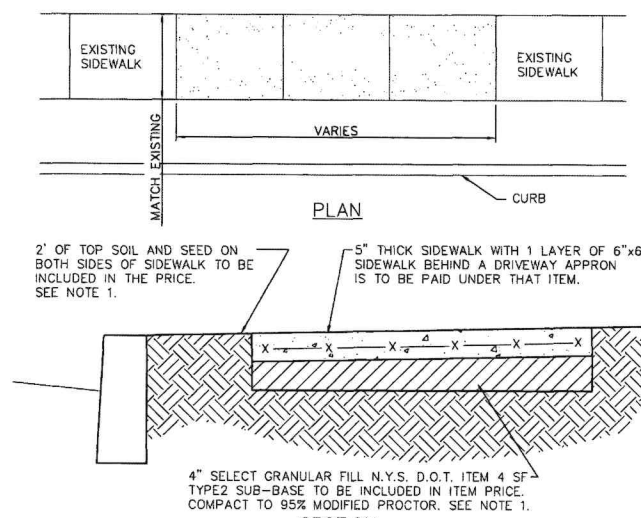
7 ADA MID-BLOCK CURB RAMP DETAIL
NOT TO SCALE



6 ADA STALL DETAIL
NOT TO SCALE

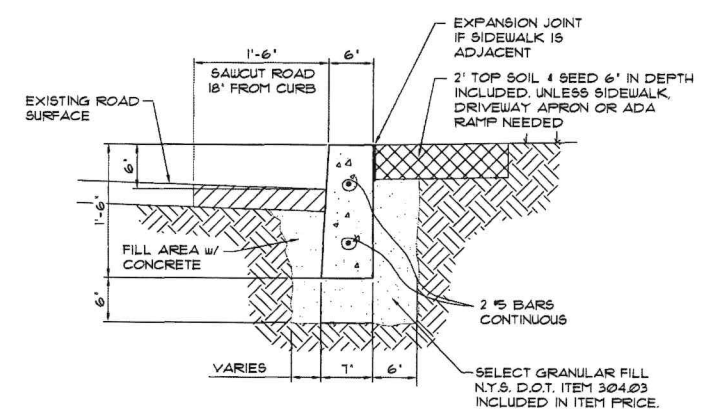


10 TYPICAL SIGN DETAIL
NOT TO SCALE

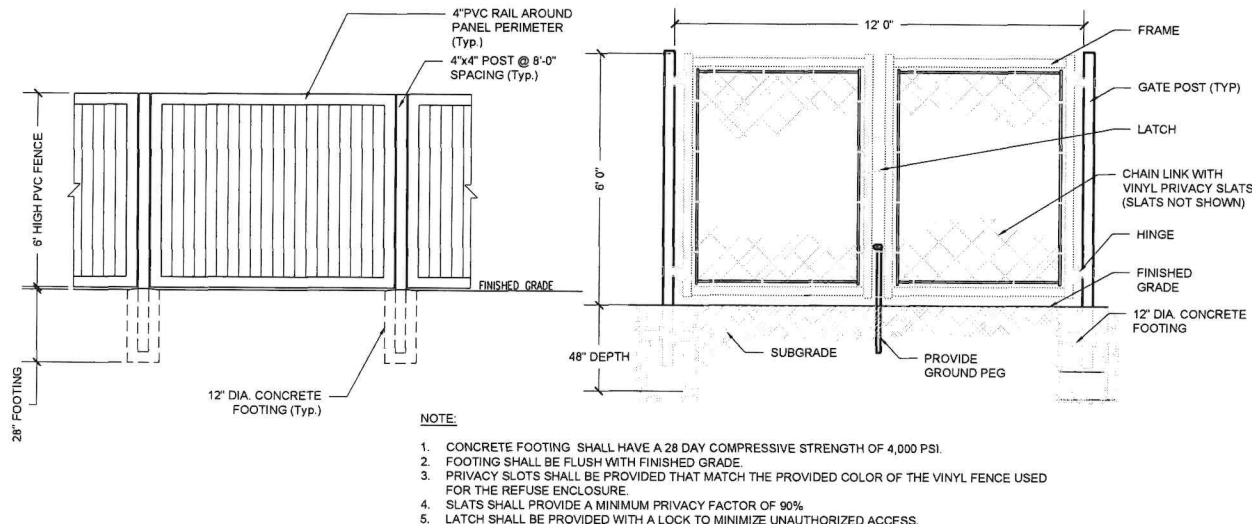


- NOTES:
1. ALL CONCRETE SHALL BE MINIMUM 4,000 PSI.
 2. WHERE MATERIAL IS NOT USED THE CITY OF Poughkeepsie WILL BE CREDITED IN AREAS WHERE MORE THAN THE SPECIFIED AMOUNT OF MATERIAL IS USED. MAJOR GRADE CHANGES WILL BE APPROVED BY THE CITY ENGINEERING DEPT. AND WILL BE PAID UNDER APPROPRIATE ITEMS.
 3. UPON COMPLETION OF CURING ALL CONCRETE SURFACES SHALL BE COATED WITH SODIUM CHLORIDE INHIBITING SEALER AS REQ'D.

SIDEWALK DETAIL REPLACE & NEW



- NOTE:
1. CONCRETE SHALL BE MINIMUM 4,000 PSI
- FORMED CURB DETAIL

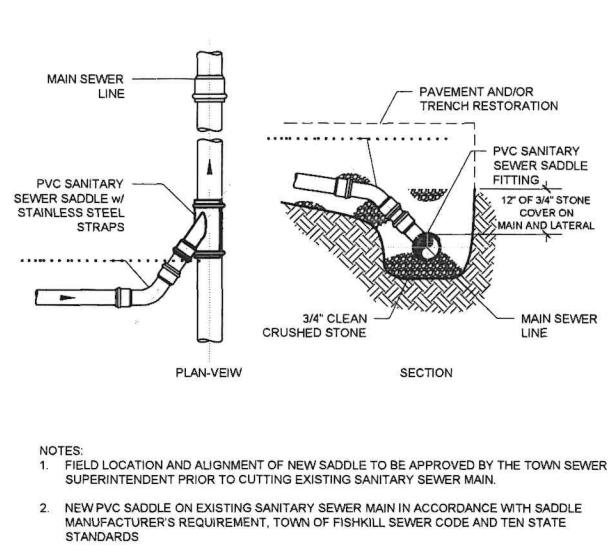


11 PVC REFUSE ENCLOSURE FENCE & GATE DETAIL
NOT TO SCALE

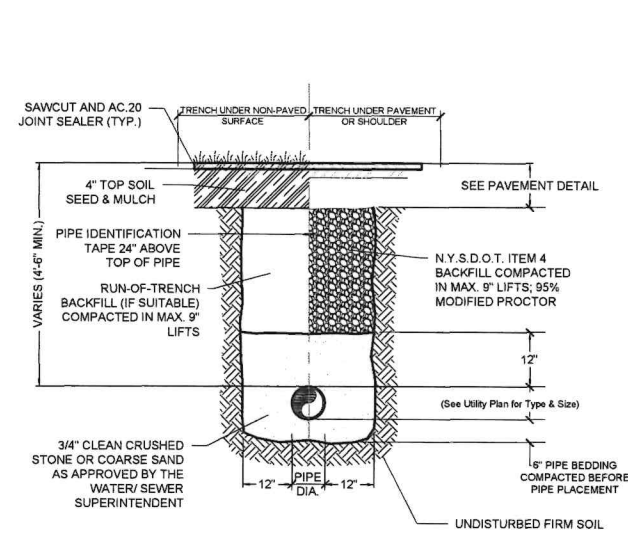
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Project No. 2022.231 License No. 069646	
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3 Van Wyck Lane Wappingers Falls, New York (845)-223-3202	
PROJECT 9 Dutchess	
City of Poughkeepsie Dutchess County, New York	
Site Details	
DATE 10/11/23	AS NOTED BY MAD
DATE 10/11/23	CHECKED BY BJW
DRAWN BY CS501 9 of 12	

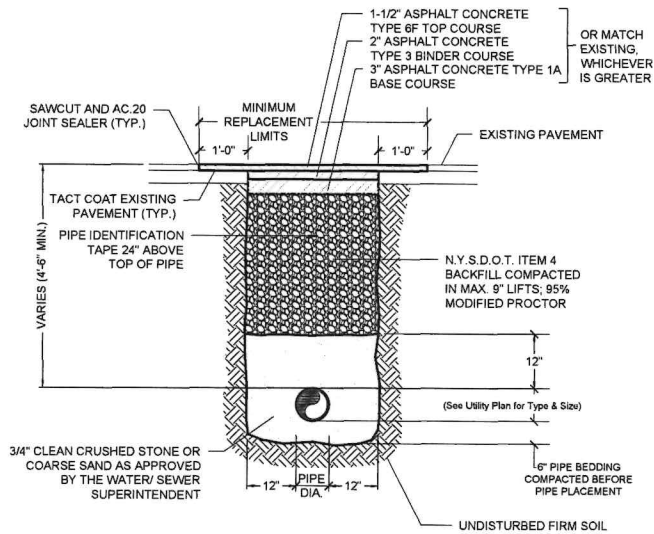
Page 31 of 47



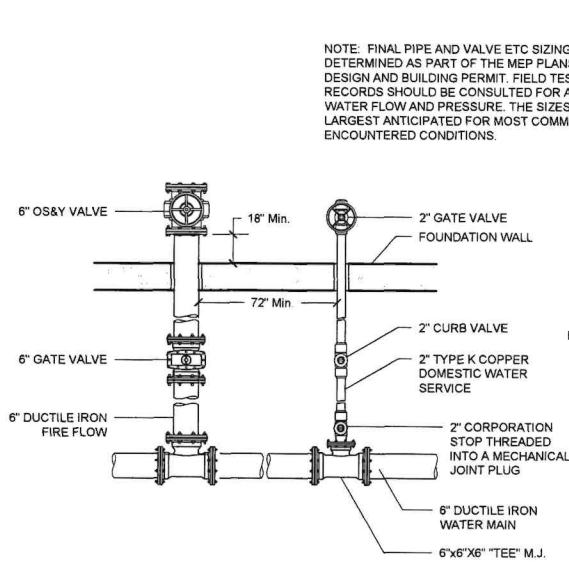
1 SANITARY SEWER LATERAL CUT-IN DETAIL
NOT TO SCALE



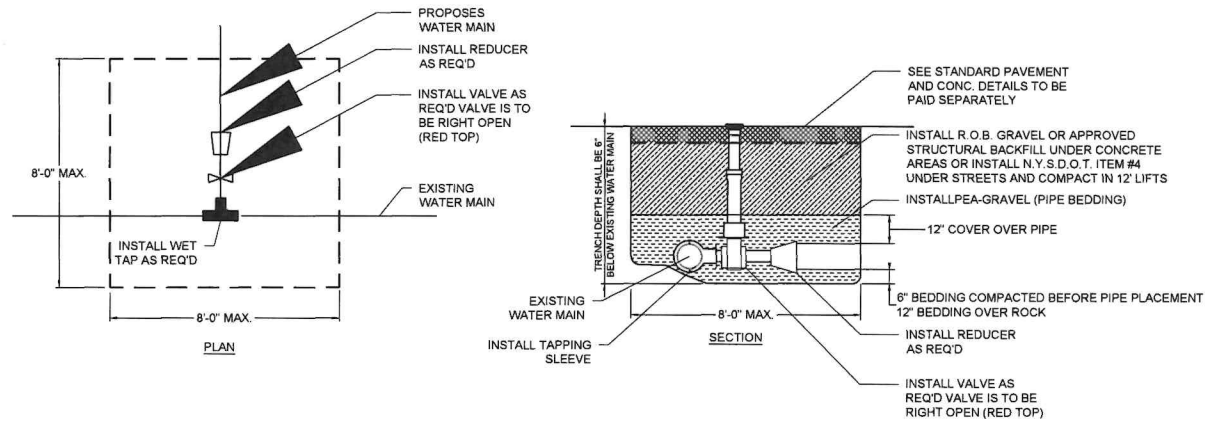
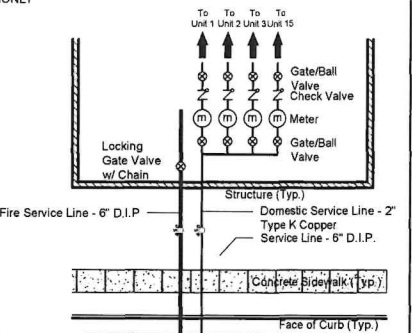
2 UTILITY TRENCH DETAIL
NOT TO SCALE



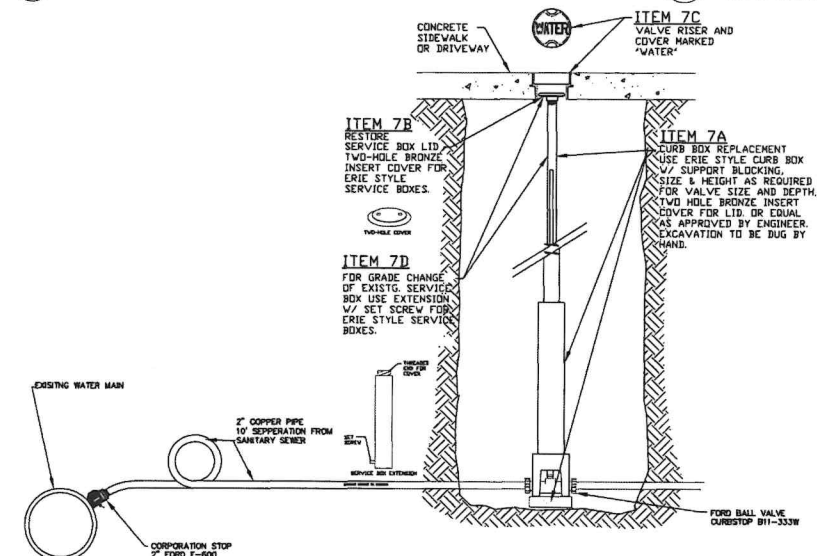
3 UTILITY TRENCH DETAIL (Below Existing Pavement)
NOT TO SCALE



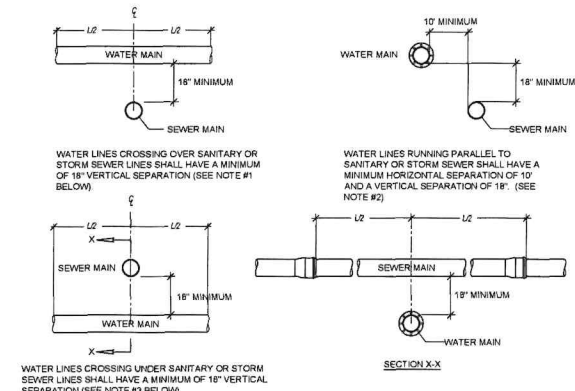
4 TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE



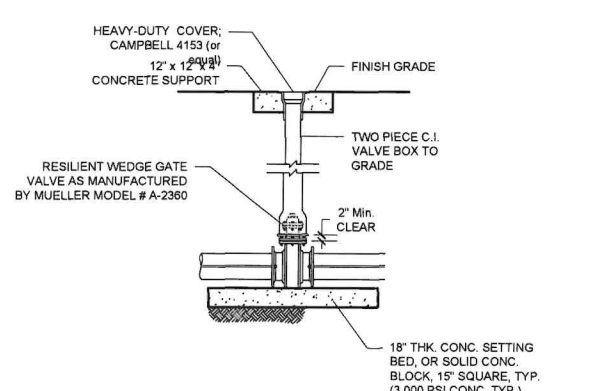
5 TAPPING SLEEVE & VALVE
NOT TO SCALE



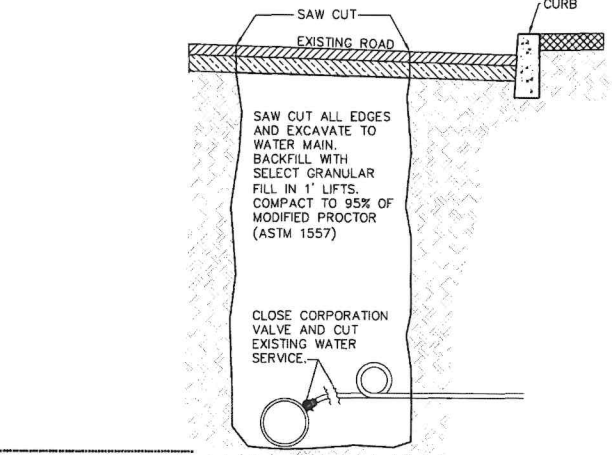
CURB BOX AND SERVICE CONNECTION
SCALE: N.T.S.



8 WATER & SEWER SEPARATION
NOT TO SCALE



6 TYPICAL WATER VALVE DETAIL
NOT TO SCALE



WATER SERVICE DISCONNECT AT MAIN
SCALE: N.T.S.

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Utility Details	
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Date: 10/11/23	Checked by: MAD
CU501 11 of 12	

CONSTRUCTION WASTE MANAGEMENT PLAN

CONSTRUCTION WASTE MANAGEMENT PRACTICES ARE DESIGNED TO MAINTAIN A CLEAN AND ORDERLY WORK ENVIRONMENT. THIS WILL REDUCE THE POTENTIAL FOR SIGNIFICANT MATERIALS TO COME INTO CONTACT WITH STORMWATER. A MAINTENANCE SCHEDULE SHALL BE DEVELOPED FOR THESE AREAS. THE GENERAL CONTRACTOR SHALL IMPLEMENT THE FOLLOWING PRACTICES:

- MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATION WILL BE STOCKPILED UP SLOPE FROM ADEQUATE SEDIMENTATION CONTROLS.
- EQUIPMENT CLEANING, MAINTENANCE, AND REPAIR AREAS SHALL BE DESIGNATED AND PROTECTED BY A TEMPORARY PERIMETER BERM.
- THE USE OF DETERGENTS FOR LARGE SCALE WASHING IS PROHIBITED (E.G., VEHICLES, BUILDINGS, PAVEMENT SURFACES, ETC.).
- SPILL PREVENTION AND RESPONSE
A SPILL PREVENTION AND RESPONSE PLAN SHALL BE DEVELOPED FOR THE SITE BY THE GENERAL CONTRACTOR. THE PLAN SHALL DETAIL THE STEPS NEEDED TO BE FOLLOWED IN THE EVENT OF AN ACCIDENTAL SPILL AND SHALL IDENTIFY CONTACT NAMES AND PHONE NUMBERS OF PEOPLE AND AGENCIES THAT MUST BE NOTIFIED.
THE PLAN SHALL INCLUDE MATERIAL SAFETY DATA SHEETS (MSDS) FOR ALL MATERIALS TO BE STORED ON-SITE. ALL WORKERS ON-SITE WILL BE REQUIRED TO BE TRAINED ON SAFE HANDLING AND SPILL PREVENTION PROCEDURES FOR ALL MATERIALS USED DURING CONSTRUCTION. REGULAR TAILGATE SAFETY MEETINGS SHALL BE HELD AND ALL WORKERS THAT ARE EXPECTED ON THE SITE DURING THE WEEK SHALL BE REQUIRED TO ATTEND.
- MATERIAL STORAGE
CONSTRUCTION MATERIALS SHALL BE STORED IN A DEDICATED STAGING AREA. THE STAGING AREA SHALL BE LOCATED IN AN AREA THAT MINIMIZES THE IMPACTS OF THE CONSTRUCTION MATERIALS EFFECTING STORMWATER QUALITY.
CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS, AND OTHER TOXIC MATERIAL MUST BE STORED IN WATERPROOF CONTAINERS. EXCEPT DURING APPLICATION, THE CONTENTS MUST BE KEPT IN TRUCKS OR WITHIN STORAGE FACILITIES. RUNOFF CONTAINING SUCH MATERIAL MUST BE COLLECTED, REMOVED FROM THE SITE, TREATED AND DISPOSED AT AN APPROVED SOLID WASTE OR CHEMICAL DISPOSAL FACILITY.
- TEMPORARY CONCRETE WASHOUT FACILITY
TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FT FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING. A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHALL BE REMOVED AND DISPOSED OF. MATERIALS USED TO CONSTRUCT THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED AND/OR REPAIRED AND SEEDED AND MULCHED FOR FINAL STABILIZATION.
- SOLID WASTE DISPOSAL
NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, ARE ALLOWED TO BE DISCHARGED FROM THE SITE WITH STORMWATER. ALL SOLID WASTE, INCLUDING DISPOSABLE MATERIALS INCIDENTAL TO THE MAJOR CONSTRUCTION ACTIVITIES, MUST BE COLLECTED AND PLACED IN CONTAINERS. THE CONTAINERS WILL BE EMPTIED PERIODICALLY BY A CONTRACT TRASH DISPOSAL SERVICE AND HAULED AWAY FROM THE SITE.
SUBSTANCES THAT HAVE THE POTENTIAL FOR POLLUTING SURFACE AND/OR GROUNDWATER MUST BE CONTROLLED BY WHATEVER MEANS NECESSARY IN ORDER TO ENSURE THAT THEY DO NOT DISCHARGE FROM THE SITE. AS AN EXAMPLE, SPECIAL CARE MUST BE EXERCISED DURING EQUIPMENT FUELING AND SERVICING OPERATIONS. IF A SPILL OCCURS, IT MUST BE CONTAINED AND DISPOSED SO THAT IT WILL NOT FLOW FROM THE SITE OR ENTER GROUNDWATER, EVEN IF THIS REQUIRES REMOVAL, TREATMENT, AND DISPOSAL OF SOIL. IN THIS REGARD, POTENTIALLY POLLUTING SUBSTANCES SHOULD BE HANDLED IN A MANNER CONSISTENT WITH THE IMPACT THEY REPRESENT.
- WATER SOURCE
NON-STORMWATER COMPONENTS OF SITE DISCHARGE MUST BE CLEAN WATER. WATER USED FOR CONSTRUCTION, WHICH DISCHARGES FROM THE SITE, MUST ORIGINATE FROM A PUBLIC WATER SUPPLY OR PRIVATE WELL APPROVED BY THE HEALTH DEPARTMENT. WATER USED FOR CONSTRUCTION THAT DOES NOT ORIGINATE FROM AN APPROVED PUBLIC SUPPLY MUST NOT DISCHARGE FROM THE SITE. IT CAN BE RETAINED IN THE PONDS UNTIL IT INFILTRATES AND EVAPORATES.

CONSTRUCTION WASTE MANAGEMENT PLAN

NOT TO SCALE

EROSION AND SEDIMENT CONTROL MEASURES:

- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH 'NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL', NOVEMBER, 2016.
- DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
- AS MUCH AS IS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS.
- SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISRUPTION.
- PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND 'ROUTES OF CONVENIENCE' SHALL BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL POINTS OF ENTRY ONTO THE PROJECT SITE.
- SEEDED AREAS TO BE MULCHED WITH STRAW OR HAY MULCH IN ACCORDANCE WITH VEGETATIVE COVER SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED. THE CONTRACTOR IS TO SUPPLY ALL EQUIPMENT AND WATER.
- WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.
- MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES:
A. PERMANENT AND TEMPORARY VEGETATION:
INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND REESTABLISHED IMMEDIATELY.
B. STABILIZED CONSTRUCTION ENTRANCE:
INSPECT THE ENTRANCE PAD EVERY SEVEN DAYS. CHECK FOR MUD, SEDIMENT BUILD-UP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING WET WEATHER. RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL. WASH AND REPLACE STONE AS NEEDED. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF-SITE BY VEHICLES. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AS SOON AS THEY ARE NO LONGER NEEDED TO PROVIDE ACCESS TO THE SITE.
C. SILT FENCE:
INSPECT FOR DAMAGE EVERY SEVEN DAYS. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 1/3 THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.
D. SOIL STOCKPILE:
INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE OR HAY BALE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS. MAKE ALL REPAIRS IMMEDIATELY.

REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 1/3 THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS, BEGINS TO DECOMPOSE, OR IN ANYWAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL. STOCK PILE, REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.

- INLET PROTECTION:
INSPECT INLET PROTECTION FOR DAMAGE EVERY SEVEN DAYS. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT AS NECESSARY TO PROVIDE FOR ADEQUATE STORAGE VOLUME FOR SUBSEQUENT RAINS.
- DUST CONTROL:
SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORK. APPLY TEMPORARY SOIL STABILIZATION
PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER), STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.

EROSION & SEDIMENT CONTROL NOTES

NOT TO SCALE

PRE-CONSTRUCTION SEQUENCE:

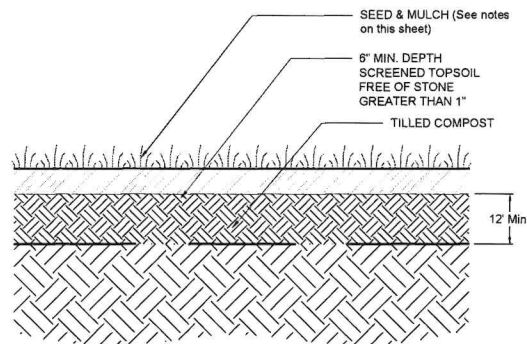
- NON-DISTURBANCE AREAS SHALL BE MARKED WITH 4-FT ORANGE SNOW FENCING TO TOWN ENGINEERS SATISFACTION PRIOR TO SITE DISTURBANCE, AND SHALL BE MAINTAINED UNTIL ISSUANCE OF A C.O.
- HOLD A PRE-CONSTRUCTION MEETING WITH THE OWNER/OPERATOR, SITE ENGINEER, TOWN ENGINEER, TRAINED CONTRACTOR.
- ALL REQUIRED PERMITS SHALL BE OBTAINED INCLUDING BUT NOT LIMITED TO CITY OF Poughkeepsie BUILDING DEPARTMENT BUILDING PERMIT AND HIGHWAY WORK PERMIT.

CONSTRUCTION SEQUENCE:

- INSTALL AND STABILIZE TEMPORARY EROSION & SEDIMENT CONTROL MEASURES AS SHOWN ON THE EROSION & SEDIMENT CONTROL PLAN.
- INSTALL TRAFFIC MOVEMENT PROTECTION MEASURES AND TEMPORARY CONSTRUCTION SIGNS.

CONSTRUCTION SEQUENCE

NOT TO SCALE

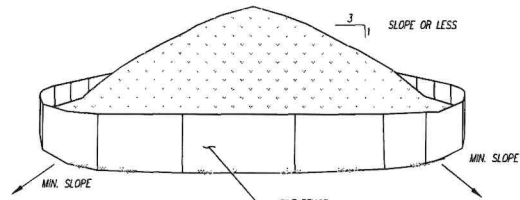


DURING PERIODS OF RELATIVELY LOW MODERATE SUBSOIL MOISTURE, THE DISTURBED SUBSOILS ARE RETURNED TO ROUGH GRADE AND THE FOLLOWING SOIL RESTORATION STEPS APPLIED:

- APPLY 3 INCHES OF COMPOST OVER SUBSOIL.
- TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC, OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUBSOILS.
- ROCK-PICK UNTIL UPLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEARED OF THE SITE.
- APPLY TOPSOIL TO A DEPTH OF 6 INCHES.
- VEGETATE AS REQUIRED BY APPROVED PLANS.

SOIL RESTORATION DETAIL

NOT TO SCALE



NOTES:

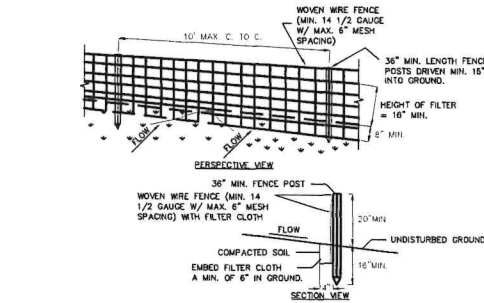
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1V:2H.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.
- SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE.
- HAYBALES TO BE USED WHERE STOCKPILES ARE LOCATED ON PAVED AREAS.

TEMPORARY SOIL STOCKPILE DETAIL

NOT TO SCALE

SEEDING & MULCHING NOTES

NOT TO SCALE

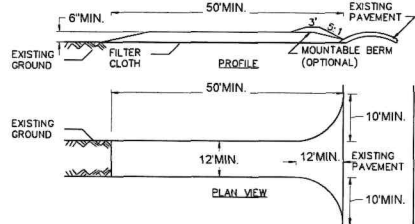


CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER 'T' OR 'U' TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\"/>

SILT FENCE DETAIL

NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

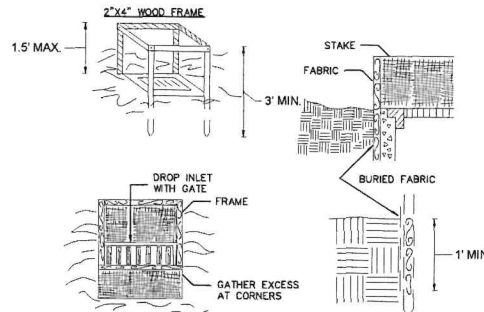
ANTI-TRACKING PAD DETAIL

NOT TO SCALE

- ALL SEDIMENT & EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THESE PLANS & DETAILS. CHANGES, OMISSIONS AND/OR OTHER ALTERATIONS CAN NOT BE MADE TO THESE PLANS WITHOUT THE CONSENT OF THE DESIGN ENGINEER.
- SILT FENCE SHALL BE INSTALLED AS SHOWN ON THIS DRAWING PRIOR TO BEGINNING ANY CLEARING, GRUBBING AND EARTHWORK.
- EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEEDED WITH THE FOLLOWING GRASS SEED MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION, OR IF PLANNED TO BE LEFT UNDISTURBED FOR MORE THAN 21 DAYS. GRASS SEED MIX TO BE APPLIED AT A RATE OF 50 POUNDS PER ACRE IN THE FOLLOWING PROPORTIONS:

KENTUCKY BLUEGRASS	40%
CREeping RED FESCUE	40%
RYE GRASS	20%

- GRASS SEED MIX MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE NYSDOT STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS, SECTION 610-3.02, METHOD No. 1.
- SEEDED AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE, OR 90 LBS. PER 1,000 SQUARE FEET, SUCH THAT IT FORMS A CONTINUOUS BLANKET.
- SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE OWNER'S FIELD REPRESENTATIVE.
- DUST SHALL BE CONTROLLED BY SPRINKLING OF WATER OR OTHER APPROVED METHODS AS NECESSARY AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.
- CUTS AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTY, NOR DIVERT SURFACE WATER ONTO ADJOINING PROPERTIES.
- ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIALS AND TO PREVENT SETTLEMENT.
- EXCAVATIONS AND FILLS TO BE ROLLED, SEALED AND STABILIZED AT COMPLETION OF EACH DAY'S WORK.
- THE OWNER'S FIELD REPRESENTATIVE SHALL INSPECT THE DOWNSIDE CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS AND AFTER RAINSTORMS.
- AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES MAY BE ADDED TO THIS PLAN BY THE SITE ENGINEER, TOWN ENGINEER AND HIGHWAY SUPERINTENDENT. ANY REVISIONS TO THIS PLAN MUST BE SUBMITTED TO THE SITE ENGINEER. ANY CHANGES DEEMED NECESSARY TO THIS PLAN SHALL BE DICTATED BY THE SITE ENGINEER AS NECESSARY TO CARRY-OUT THE INTENT OF THIS PLAN.

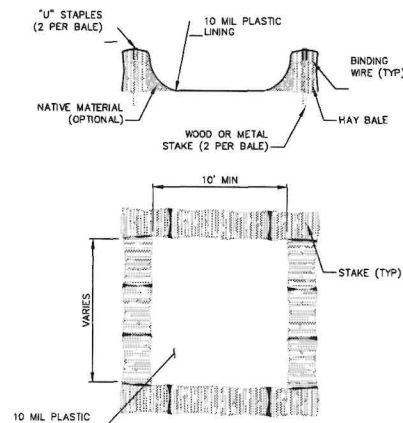


CONSTRUCTION SPECIFICATIONS

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2\"/>

DROP INLET PROTECTION

NOT TO SCALE

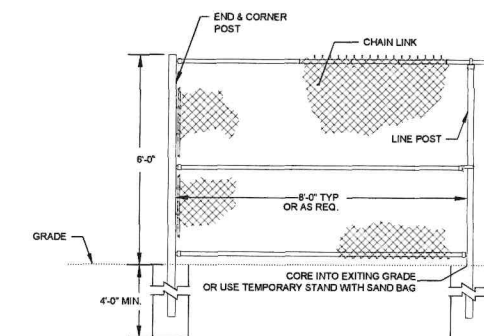


NOTES:

- CONCRETE WASHOUT SIGN TO BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
- REMOVE HARDEN CONCRETE WHEN WITHIN 4\"/>

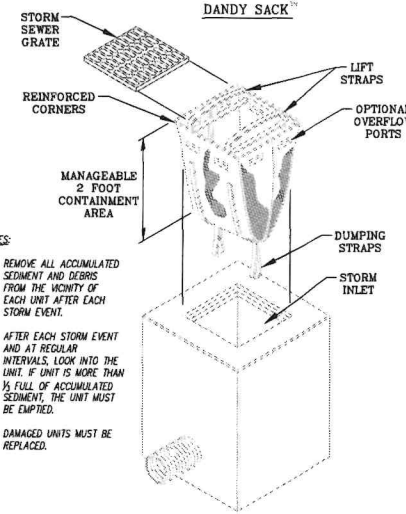
TEMPORARY CONCRETE WASHOUT DETAIL

NOT TO SCALE



NOTES:

- FENCING, POSTS, & GATE SHALL BE GALVANIZED TO PREVENT CORROSION.
- GATE SHALL BE PROVIDED WITH A LOCKING MECHANISM.
- TOTAL HEIGHT OF FENCING SHALL BE 6'-0\"/>



NOTES:

- REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM THE MOUTH OF EACH UNIT AFTER EACH STORM EVENT.
- AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE UNIT. IF UNIT IS MORE THAN 1/3 FULL OF ACCUMULATED SEDIMENT, THE UNIT MUST BE EMPTIED.
- DAMAGED UNITS MUST BE REPLACED.

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DESIGNED BY BJW	CHECKED BY MAD
CE501 12 of 12	



**THE CITY OF POUGHKEEPSIE
NEW YORK**

BUILDING PLANNING & ZONING
62 CIVIC CENTER PLAZA, 2ND FLOOR
POUGHKEEPSIE, NY 12601

Phone: (845) 451-4007 Fax: (845) 451-4006

APPLICATION FOR SITE PLAN, SPECIAL PERMIT APPROVAL & FAÇADE REVIEW

The Zoning Ordinance of the City of Poughkeepsie requires site plan approval by the Planning Board for the following:

- (a) The erection or enlargement of all buildings in all districts other than one, two- or three-family residences, except as part of a subdivision and except as provided hereinafter or uses accessory thereto;
- (b) All uses of vacant land other than uses accessory to one, two- or three-family houses;
- (c) Any change in use or intensity of use which will affect the characteristics of the site in terms of parking, loading, access, drainage or utilities;
- (d) Any plan to alter or improve a building facade in any area designated by the Common Council as a landmark or a special historical, architectural or design improvement district;
- (e) Any application for a special use permit;
- (f) Any use or structure in a flood hazard area;
- (g) Any amendment of a previously approved plan;
- (h) Any modular construction, pursuant to Section 19-4.20 of the Zoning Ordinance.

Prior to any submission it is highly recommended that potential developers file a Zoning Review Request form and request a pre-submission conference by contacting the Building Planning and Zoning Department. For the Zoning Review Request form go to the Planning Board page on the City website (<http://cityofpoughkeepsie.com/planning-board/>), and look under *Applications*. The purpose of the form and pre-submission conference is to discuss the proposal so that necessary subsequent steps may be undertaken with a clear understanding of the city's requirements in matters relating to site development.

If Planning Board review is required, ONE (1) COPY of the application form and ONE (1) FULL-SIZE COPY of the proposed site plan must be submitted to the Building Planning & Zoning Department with the appropriate fees, in order to allow review and certification of completeness.

Once an application is deemed complete, six (6) full-size sets, four (4) 11"x17" copies, and one (1) electronic copy of the site plan will be requested by the Planning Department.

The site plan must be at a minimum scale of one (1) inch equals thirty (30) feet, prepared by an architect, landscape architect, civil engineer, surveyor, land planner or other competent person. The following information, in total, shall constitute the site plan:

(a) Legal data:

1. Name and address of the owner of record.
2. Name and address of person, firm or organization preparing the map.
3. Date, North arrow and written and graphic scale.
4. Names of owners of adjoining properties.
5. A statement indicating the financial capability of the applicant to carry out this proposed development.

(b) Natural features:

1. Existing contours with intervals of five (5) feet or less.
2. Approximate boundaries of any areas subject to flooding or storm water overflows.
3. Location of existing watercourses, marshes, wooded areas, rock outcrops, isolated trees with a diameter of eight (8) inches or more, measured three (3) feet above the base of the trunk, and any other significant existing natural features.
4. Indication of direction of scenic views.

(c) Existing structures and utilities:

1. Outlines of all structures and location of all uses not requiring structures.
2. Paved areas, walkways and vehicular access between the site and public streets.
3. Locations, dimensions, grades and flow direction of any existing sewers, culverts, water lines, as well as other underground and aboveground utilities within and adjacent to the property.
4. Other existing development, including fences, landscaping and screening.
5. Sufficient description or information to define precisely the boundaries of the property. All distances shall be in feet and tenths of a foot. All angles shall be given to the nearest ten (10) seconds or closer. The error of closure shall not exceed one (1) in ten thousand (10,000).
6. The locations and owners of all adjoining lands as shown on the latest tax records.
7. The locations, names and existing widths of adjacent streets and curb lines.
8. The location, width and purpose of all existing and proposed easements, setbacks, reservations and areas dedicated to public use within or adjacent to the property.
9. A complete outline of existing deed restrictions or covenants applying to the property.
10. Existing zoning.

(d) Proposed development:

1. The location of proposed buildings or structural improvements
2. The location and design of all uses not requiring structures (such as off-street parking and loading).
3. The location, direction, power and time of use for any outdoor lighting or public address systems.
4. The location and plans for any outdoor signs.

5. The location, arrangement and materials of proposed means of access and egress, including walkways, driveways or other paved areas. Profiles indicating grading and cross sections showing location and width of roadway and walkways. Any proposed direct pedestrian connection to public parking lots or structures will also be shown.
6. Proposed screening and other landscaping, in accordance with Section 19-4.11.
7. The location, size, direction of flow and connection to city facilities of all proposed water lines, valves and hydrants and of all sewer lines or alternate means of water supply and sewage disposal and treatment facilities.
8. Location of any fire alarm boxes and/or connections to the city fire alarm system.
9. An outline of any proposed easements, deed restrictions or covenants and a notation of any areas to be dedicated to a public agency.
10. Any contemplated public improvements on or adjoining the property.
11. Any proposed new grades, indicating clearly how such grades will meet existing grades of adjacent properties or the street.
12. Elevations of all proposed principal or accessory structures (such elevations should be detailed, noting all materials and colors).
13. Indication of how the site plan has considered energy consumption in the siting and layout of buildings and in proposed building services (heat, lighting, air conditioning, etc.).
14. If the site plan indicates a first stage, a supplementary plan shall indicate ultimate development.
15. Any other information deemed by the Planning Board necessary to determine conformity of the plan with the spirit and intent of this Chapter (including plans for storm water drainage and disposal).
16. The following note must be added on all site plans where existing trees are to be retained: "Prior to the start of construction or excavation, trees to be retained shall be protected by silt fence, snow fence, construction fence, or equal, which will be placed at the drip line or several feet beyond. However, the fencing shall not cross public sidewalks. No storage or stockpiling of construction materials, debris or equipment shall occur within the fenced area." In addition to the note, the location of the fencing must be shown on the site or landscape plan. Where proximity to a building, driveway, parking area, or construction roadway prevents installation of fencing at the drip line, modification of the fence position shall be shown on the plan and shall be subject to the approval of the Planning Board. Field modification of the fence position may be granted by the Building Inspector/Zoning Administrator or Deputy Building Inspector.

The applicant may make a written request for a waiver of any of the site plan elements listed above. Such a request must be addressed to the Planning Board and to the Building Inspector, must describe specifically the item(s) and fully explain the reason(s) why the applicant feels a waiver is justified. Further, unless waived by Building Inspector, plans for all required improvements must be signed by a professional engineer or registered architect or, if appropriate, a registered landscape architect.

Please note that all applications for new construction must be accompanied by a properly prepared Full Environmental Assessment Form (EAF). Other plans will require either a Full EAF or a Short EAF, depending on project's specifics. Please note that one, two and three family dwellings do not require a Full EAF.

SPECIAL PERMIT REQUEST

In all applications containing a request for special permit, the applicant must submit written and/or visual documentation addressing the following considerations:

- a) That all proposed structures, equipment or material shall be readily accessible for fire and police protection.
- b) That the proposed use is of such location, size and character that, in general, it will be in harmony with the appropriate and orderly development of the district in which it is proposed to be situated and will not be detrimental to the orderly development of adjacent properties in accordance with the zoning classification of such properties.
- c) That, in addition to the above, in the case of any use located in or directly adjacent to, a residential district:
 - The location and size of such use, the nature and intensity of operations involved in or conducted in connection therewith, its site layout and its relation to access streets shall be such that both pedestrian and vehicular traffic to and from the use and the assembly of persons in connection therewith will not be hazardous or inconvenient or incongruous with said residential district or conflict with the normal traffic of the neighborhood; and
 - The location and height of buildings, the location, nature and height of walls and fences and the nature and extent of screening and landscaping on the site shall be such that the use will not hinder or discourage the appropriate development and use of adjacent land and buildings or diminish the value thereof.

APPLICATION FEES

Upon submission of a site plan application, the applicant must pay a base fee \$500, plus \$35 per required off-street parking space and \$150 per 1000 square feet of development. If the applicant is also requesting special permit review, an additional \$500 must be paid at the time of application submission. In instances where an applicant is only requesting façade review for an existing building, a fee of \$350 must be paid at the time of application submission. Note, if façade review is pertaining to a proposed site plan, the façade review fee is not required in addition to the site plan review fee.

	FEES
Site Plan Review	\$500.00 and \$35.00 per required off-street parking space and \$150.00 per 1000 square feet
Special Permit Review	\$500.00
Façade Review (Only)	\$350.00

TIMING OF APPLICATION

Please remember that the Building Planning & Zoning Department must review all applications for site plan review to insure conformity with the requirements of the Zoning Ordinance, as well as to certify completeness of the submission. Since applications must be received by the Planning Department at least three Tuesday's prior to the Planning Board's Meeting, it is advisable that submissions be made to the Building Planning & Zoning Department no later than the second Tuesday of the month prior to Planning Board agenda on which the applicant plans to be considered. Once an application is conforming and complete, it will be forwarded to the Planning Board. Applicants filing incomplete applications will be informed of all deficiencies noted to exist in the submission in writing.

Only complete applications will be forwarded.

All applications for site plan, special permit and façade approval are required to be reviewed for comment by the Fire Chief, Police Chief, City Engineer, Superintendent of Public Works and Building Inspector. Copies of the application and accompanying information are forwarded to these officials by the Building Department simultaneously with transmission to the Planning Board. The complete application will be circulated, where required, to the Dutchess County Planning Department and to other appropriate agencies.

The Planning Board meets the third Tuesday of each month. Attendance by the applicant or the applicant's agent is required at these meetings. Should the applicant or representative fail to attend, the application will be removed from the agenda.

The Planning Board may hold a public hearing on site plan applications if the Board determines that such hearing would serve the public interest. The Board is required to hold a public hearing on all applications for Special Permit.

Upon completion of the review, the Planning Board will: approve, approve with conditions, or disapprove the site plan, special permit or façade application.

RESPONSIBILITY OF THE APPLICANT FOLLOWING APPROVAL

Approval by the Planning Board does not end the approval process, nor does it convey the right to build a project. Prior to commencement of the actual work, a Building Permit must be obtained. Prior to the actual occupancy of any building or land, a Certificate of Occupancy must be issued and all conditions of approval satisfied. Following approval by the Board, the applicant may either:

- 1) Circulate the original mylar or other acceptable original format of the approved site plan to the Fire Chief, Police Chief, Superintendent of Public Works/City Engineer and Building Inspector for their signatures;
- 2) Bring the mylar or other original to the Building, Planning & Zoning Department so that arrangements for these signatures can be made. The original, so signed, will then be sealed with the Planning Board's stamp of approval, provided that all conditions of the Board's approval have been met.

Seven (7) copies of the signed and stamped plan must be submitted to the Building Planning & Zoning Department prior to the issuance of any building permit for the proposed work.

CONTACT NUMBERS

BUILDING DEPARTMENT:	(845) 451-4007
PLANNING DEPARTMENT:	(845) 451-4047
FIRE CHIEF:	(845) 451-4079
POLICE CHIEF:	(845) 451-4132
CITY ENGINEER (CPL):	(845) 451-4021

APPLICATION TO THE PLANNING BOARD
CITY OF POUGHKEEPSIE, NEW YORK

Application for Site Plan, Special Permit & Facade Approval

I. PROPERTY ADDRESS: _____

II. PROPERTY OWNER: _____
ADDRESS: _____

_____ (state and zip code)

PHONE NUMBER: _____ (include area code)

III. NAME OF APPLICANT: _____

ADDRESS: _____

_____ (state and zip code)

PHONE NUMBER: _____ (include area code)

EMAIL ADDRESS: _____

(If applicant is NOT the owner, proof of owner's consent to the application MUST be provided.)

IV. CONSULTANT: _____

ADDRESS: _____

_____ (state and zip code)

PHONE NUMBER: _____ (include area code)

V. PROPOSED USE or FAÇADE CHANGE (Summarize proposed use or uses): _____

VI. ZONING DISTRICT: _____

OFFICE USE ONLY

CODE: PLSF

ID # _____

FEE: _____

Total, from:
\$500, plus
\$ _____
(\$150 per 1000
square feet of floor
area), plus
\$ _____
(\$35 per number of
required parking
spaces), plus
\$ _____
(\$500 for special
permit, if applicable)

(Proceed to XVII for special permit & façade approval only)

PROJECT INFORMATION

New construction: _____ (yes) _____ (no)

Change of use: _____ (yes) _____ (no)

Expansion/addition: _____ (yes) _____ (no)

Alteration: _____ (yes) _____ (no)

Cost of Construction: \$ _____

LOT AND BULK INFORMATION:

Lot area: _____ (acres) _____ (square feet)

Building Footprint: _____ (proposed square feet for new construction)

_____ (existing square feet for change of
use/expansion)

_____ (additional proposed square feet for expansion)

_____ (total building footprint, square feet)

Lot Coverage: _____ (percentage, building coverage only)

Gross Floor Area: _____ (proposed square feet for new construction)

_____ (existing square feet for change of
use/expansion)

_____ (additional proposed square feet for expansion)

_____ (total gross floor area, square feet)

Building Height: _____ (stories) _____ (feet)

Floor Area Ratio: _____ (ratio of gross floor area divided by lot area)

VIII. PROJECT PARKING INFORMATION

A) Number of Off-Street Parking Spaces required: _____

B) Number of Off-Street Parking Spaces provided: _____

C) Waiver Requested: _____ (Yes) _____ (No)

Is municipal parking available within 600 feet? _____ (Yes) _____ (No)

If yes, name all such municipal facilities: _____

(If a waiver is requested based on proximity to municipal facilities, a written request for such waiver, addressed to the City Planning Staff and the Chairman of the Planning Board, must be submitted with the application.)

If a private parking facility is to be utilized, is such facility within 600 feet?

_____ (Yes) _____ (No)

If yes, provide the address of the facility, name of the property owner, number of spaces in the lot, number of spaces available for lease, and length of lease. Attach copy of lease. Additional information may be required by the Planning Board):

IX. RESIDENTIAL PROPOSALS

A) Type of Development: _____
(Townhouse, condominium, multiple residence rental, etc.)

B) Unit Breakdown:
Number of efficiency or "studio" units: _____
Number of one (1) bedroom units: _____
Number of two (2) bedroom unit's _____
Number with three or more bedrooms: _____
Total number of units: _____

C) Is funding public? ____ Yes ____ No
If yes, describe funding source: _____

X. OFFICE PROPOSALS (____ Medical/Dental ____ Professional ____ Business)

A) Number of Employees: _____
B) Number of doctors/dentists/medical practitioners: _____
C) Days/Hours of Operation: _____

XI. SERVICE BUSINESS PROPOSALS

- A) Specify Business: _____
(e.g., laundromat, drycleaner, beauty parlor, travel agency, banks)
- B) Number of Employees: _____
- C) Number of Washing Machines (for laundromat): _____
- D) Days/Hours of Operation: _____

XII. MERCANTILE PROPOSALS (Retail _____ Wholesale _____)

- A) Type of Mercantile (specify): _____
- B) Number of Employees: _____
- C) Days/Hours of Operation: _____

XIII. STANDARD RESTAURANT/FAST FOOD RESTAURANT/COFFEE SHOP/DONUT SHOP/NIGHTCLUB/DISCOTHEQUE/BAR PROPOSALS

- A) Specify Use: _____
- B) Number of seats (excluding bar stools and outdoor seating): _____
- C) Meals served (i.e., breakfast, lunch, dinner): _____
- D) Type of Menu: _____
- E) Days/Hours of Operation: _____
- F) Entertainment (live and/or recorded): _____
- G) Will the restaurant contain a bar/lounge?: _____ Yes _____ No
- H) If yes, how many seats at the bar? _____
- I) Is a drive-through window proposed? _____
- J) Is a walk-up window proposed? _____
- K) Is an outdoor seating area proposed? _____
- L) If yes, how many seats are proposed? _____
- M) If yes, is outdoor cooking proposed? _____

XIV. INDUSTRIAL/COMMERCIAL PROPOSALS (Automobile repair, taxi, motor vehicle sales, warehouse, manufacturing, animal hospital, research facilities, etc.)

- A) Specify Use: _____
- B) Number of shifts (if any): _____
- C) Number of employees: _____
(If shifts are proposed, list number of employees per shift)
- E) Number of work bays (if automobile repair): _____
- F) Days/Hours of operation: _____

XV. EDUCATIONAL/INSTITUTIONAL/RECREATIONAL PROPOSALS (e.g., Museums, Theatres, Conference Centers, Hotels, Motels, Hospitals, Nursing Homes, Assisted Living Facilities, Nursery Schools, Private Schools, Day Care Centers, Places of Worship, Marinas, Membership Clubs, etc.)

A) Specify: _____

B) Number of shifts (if any): _____

C) Number of employees: _____
(If shifts are proposed, list number of employees per shift)

D) Number of beds (hospitals, nursing homes, etc): _____

E) Number of seats in largest assembly space: _____

F) Number of classrooms (schools): _____

G) Number of rental units (hotels, motels, etc.) _____

H) Number of boat slips/courts (e.g., tennis, handball, etc.), alleys: _____

I) Days/Hours of Operation: _____

XVI. PROPOSALS NOT MENTIONED ABOVE (Please be specific):

XVII. APPLICANT CERTIFICATION

I, _____, certify that the this application has addressed the objectives outlined in the Zoning Ordinance with consideration given to the public health, safety and welfare; the comfort and convenience of the public in general or the residents or users of the proposed development and of the immediate neighborhood.

The applicant certifies that all information contained herein is accurate and complete as of the date of this application.

Signature of Applicant

Date

**9 Dutchess, LLC
241 Hudson Street
Hackensack, NJ 07601**

**(201) 488-4455
Fax (201) 487-2504
lkaufman@onekeyllc.com**

December 11, 2023

Lori Garcia
Planning Board Administrator
City of Poughkeepsie
62 Civic Center Plaza
Poughkeepsie, NY 12601

Re: 9 Dutchess Ave Stop Work Order Rescission

Dear Lori:

Enclosed please find the following in connection with the rescission of the Stop Work order issued on Building Permit 22-0842 at 9 Dutchess Avenue:

1. Application;
2. Site Plan;
3. Grading Plan;
4. Soil Erosion Plan;
5. Soil Erosion details;
6. EAF; and
7. A check in the amount of \$500.00.

We have not included a Stormwater Management plan at this time. The lot is too small for a SWPPP plan. The lot is mostly impervious at present as it is primarily rock. Ultimately, the stormwater, which will be mostly generated from the roof, will be directed into an existing stormwater line and easement between this property and the property immediately to the east, where the O'Neill Pub is located.

We respectfully request that we be allowed to resume the removal of the rock ledge on the western side of the property. No development of the site can be accomplished without the removal of the rock ledge and bringing the grade to street level.

Thank you for all your consideration of this matter.

Very truly yours,
LP Kaufman



Bulk Regulations:	Required	Proposed
Lot Area (square feet)	27,600 ^(a)	22,694.76
Lot Frontage (feet)	50	197.8
Minimum Required Yard	None ^(b)	0.94-ft
Maximum Floor Area Ratio (FAR)	1.25	1.65
Maximum Lot Coverage	50%	89%
Maximum height of structures exclusive of rooftop mechanicals and ornamentation:	60-ft ^(c)	58.5-ft
Required Open Space (square feet)	9,600 ^(d)	

^(a) Minimum required lot per dwelling unit for multifamily dwelling Section 19-3.17: Efficiency/one bedroom units: 800 SF Two-bedroom units; 1,200 SF, Three-bedroom units; 1,600 SF

^(b) Except if provided must be at least six feet

^(c) (i) For structures on the west side of North Water Street between Main Street and the Fallkill Creek: 40 feet, except as provided in Subsection (4)(f)(ii) below

(ii) Elsewhere in the Waterfront District: 60 feet, except as provided in Subsection (4)(f)(ii) below;

(iii) Where structures of maximum height will adversely affect views from the following locations, public parks, the Poughkeepsie Railroad Station, Kaal Rock, the Mid-Hudson Bridge, Vassar Brothers Hospital, DeLaval, the steps of Our Lady of Mount Carmel Church, such structures must be reduced to a height that will not impact said views except that in no instance shall buildings be required to be reduced to less than 35 feet in height inclusive of rooftop mechanicals, water towers or ornamentation.

^(d) Section 19-3.15(i) -Required open space. There shall be provided in each multiple dwelling or townhouse development, excluding townhouses on fee simple lots, not less than 200 square feet of usable open space for each efficiency unit; 300 square feet of usable open space for each one-bedroom unit; 400 square feet of usable open space for each two-or-more-bedroom unit. For any development containing more than 15 units, such usable open space shall be devoted to improved and landscaped play and sitting areas for use of residents thereof, and the design and layout of the usable open space shall be subject to approval by the Planning Board.

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Revisions

Project No.

2022.231

Mark A. Day, PE

License No. 069646

DAY STOKOSA

ENGINEERING P.C.

3 Van Wyck Lane
Wappingers Falls, New York
(845)-223-3202

PROJECT

9 Dutchess

CITY OF Poughkeepsie

Dutchess County, New York

DATE

10/11/23

CHECKED BY

MAD

DRAWING NO.

CS101

3 of 12



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Mark A. Day, PE	
Revisors	Project No. 2022.231
License No. 069646	

DAY STOKOSA
ENGINEERING P.C.

3 Van Wyck Lane
Wappingers Falls, New York
(845)-223-3202

PROJECT 9 Dutchess		
City of Poughkeepsie Dutchess County, New York		
DRAWING Utility and Grading		
SCALE 1" = 10'	DRAWN BY BJW	DRAWING NO. CU101
DATE 10/11/23	CHECKED BY MAD	5 of 12



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Mark A. Day, PE	
Revised	
Project No.	2022.231
License No. 069646	

DAY STOKOSA
ENGINEERING P.C.

3 Van Wyck Lane
Wappingers Falls, New York
(845)-223-3202

PROJECT
9 Dutchess
City of Poughkeepsie Dutchess County, New York

Erosion Control Plan

SCALE 1" = 10'	DRAWN BY BJW	DRAWING NO. CE101
DATE 10/11/23	CHECKED BY MAD	8 of 12