



**City of Poughkeepsie
Zoning Board of Appeals
Meeting Agenda**

Common Council Chambers
Tuesday, May 12, 2026
6:00 PM

I. ROLL CALL

1. ROLL CALL

II. APPROVAL OF MEETING MINUTES

1. APPROVAL OF APRIL 13, 2026 MINUTES

III. ADJOURNED APPLICATION REVIEW / PUBLIC HEARINGS

1. ADJOURNED APPLICATIONS/PUBLIC HEARINGS TO JUNE 9, 2026
 1. 271 CHURCH STREET
 2. 10 GRAND STREET
 3. 208 NORTH HAMILTON STREET
 4. 210 NORTH HAMILTON STREET
 5. 16 PERSHING AVENUE
 6. 185 SMITH STREET
 7. 287-307 SOUTH AVENUE

IV. REVIEW OF RESOLUTIONS

1. REVIEW OF RESOLUTIONS
 1. NO RESOLUTIONS TO REVIEW

V. PUBLIC HEARINGS & DELIBERATIONS

1. **27 SOUTH CLINTON STREET:** Application for area variances relative to the proposed construction of a 4-unit multiple dwelling on the vacant lot at 27 South Clinton Street (formerly the site of a single family dwelling) from Section 19-6.2(1)(f) requiring parking spaces to be a minimum of 20 feet in length to allow 18; 19-6(2)1)(f) requiring an aisle between rows of parking 22 feet wide to allow a 21 wide aisle; Section 19-2.3(2)(g) requiring a rear-yard set-back for parking of 5 feet to allow 3 feet; and Section 19-2.3(3)(a) 3.13.1(2) requiring a front yard of that is either 20 feet or within 2 feet of the average setback of the two lots on each side of the subject lot (4 lots total), to allow 6 feet. Owner/Applicant: 27 South Clinton Street, LLC/Quincy William; Consultant: Ciro Interrante; Zoning District: RNC; Grid #6161-22-237923; File #2023-035.2026

2. **20 LEXINGTON AVENUE:** Application for area variance relative to the proposed conversion of the two-family dwelling at 20 Lexington Avenue to a three-family dwelling, requiring variances of the following Sections of the Zoning Code: Section 19-2.3(2)(a) requiring 5000 square feet of lot area to allow 3920 square feet; Section 19-2.3)9 prohibiting front yard parking to allow parking in the Quaker Lane front yard; Section 19-2.3(4)(a) restricting the height of buildings to 2.5 stories or 35 feet to allow conversion of the attic to a story; Section 19-2.3(2)(h) allows a maximum driveway width of 15 feet to allow 17'1"; Section 19-6.2(11) requiring 4 off-street parking spaces to allow 2 parking spaces; Owner: Jordan Bell; Applicant/Consultant: Jason Lichwick Architecture PLLC; Grid # 6161-32-453840; Zoning District: RNC; File #ZBA2025-034

3. **488 MAIN STREET:** Application for an area variance relative to the proposed construction of a mixed use building containing ground floor commercial space fronting Main Street with 61 dwelling units, accessory parking and an accessory playground with access from Cannon Street, requiring a variance of Section 19-6.2(11) of the Zoning Code to allow 64 off-street parking spaces where 94 parking spaces are required, a deficit of 30 spaces. Owner/Applicant: Hudson River Housing, Inc; Consultant: CPL, Architecture, Engineering, Planning (Andrew Learn); Grid #6161-23-290979; Zoning District: MU5; File #ZBA2025-037

4. **27-29 FOX STREET:** Application for area variance relative to the proposed

installation of a wall sign on the building at 29 Fox Street, where Section 19-6.4(8)(i)(1) requires that the bottom of a wall sign be a maximum of 12 feet above the sidewalk to allow the bottom of the sign to be 48.25 feet above grade and Section 19-6.4(8)(i)(2) which provides that wall signs not extend above the bottom sill of windows on the second story to allow a sign to be between the top of the fourth floor windows and the roofline. Owner: 578 Tarrytown Road LLC 12561; Applicant/Consultant: GNS Group, Ltd/Nancy Forrest; Grid #6061-44-875641; Zoning District: Campus Development (CD); File #ZBA2026-008

VI. ADJOURNMENT

1. MEETING ADJOURNED TO JUNE 9, 2026



The City of Poughkeepsie New York

Zoning Board of Appeals Meeting Minutes

Tuesday, April 14, 2026

6:00 PM

Common Council Chambers

I. ROLL CALL

7 Present, 0 Absent ()

II. APPROVAL OF MEETING MINUTES

1. March 10, 2026 Minutes

A motion to Approve was made by Member Phillips and seconded by Member Klug.

Minutes of April 14, 2026 - VOICE VOTE	
Yes/Aye:	Chair Parker, Member Vinall, Member Klug, Member Phillips, Member Finnerman, Member Patterson, Member Shadman
No/Nay:	None
Abstain:	None
Absent:	
Result:	Passed

III. ADJOURNED APPLICATION REVIEW / PUBLIC HEARINGS

1. THE FOLLOWING APPLICATIONS ARE ADJOURNED:

- 271 CHURCH STREET: AREA VARIANCES
- 10 GRAND STREET: AREA VARIANCE
- 488 MAIN STREET: AREA VARIANCE
- 16 PERSHING AVENUE: AREA VARIANCES
- 185 SMITH STREET: AREA VARIANCES

A motion to Adjourn was made by Chair Parker and seconded by Member

Vinall.

Minutes of April 14, 2026 - VOICE VOTE	
Yes/Aye:	Chair Parker, Member Vinall, Member Klug, Member Phillips, Member Finnerman, Member Patterson, Member Shadman
No/Nay:	None
Abstain:	None
Absent:	
Result:	Passed

IV. PUBLIC HEARINGS & DELIBERATIONS

1. 20 LEXINGTON AVENUE: AREA VARIANCE

Application for area variance relative to the proposed conversion of the two-family dwelling at 20 Lexington Avenue to a three-family dwelling, requiring variances of the following Sections of the Zoning Code: Section 19-2.3(2)(a) requiring 5000 square feet of lot area to allow 3920 square feet; Section 19-2.3(2) prohibiting front yard parking to allow parking in the Quaker Lane front yard; Section 19-2.3(4)(a) restricting the height of buildings to 2.5 stories or 35 feet to allow conversion of the attic to a story; Section 19- 2.3(2)(h) allows a maximum driveway width of 15 feet to allow 17'1"; Section 19-6.2(11) requiring 4 off-street parking spaces to allow 2 parking spaces; Owner: Jordan Bell; Applicant/Consultant: Jason Lichwick Architecture PLLC; Grid# 6161-32-453840; Zoning District: RNC; File #ZBA2025-034

Presenting: Jordan Bell, owner; Jason Lichwick, architect

A motion to open the public hearing was made by Chair Parker and seconded by Member Klug.

Minutes of April 14, 2026 - VOICE VOTE	
Yes/Aye:	Chair Parker, Member Vinall, Member Klug, Member Phillips, Member Finnerman, Member Patterson, Member Shadman
No/Nay:	None
Abstain:	None
Absent:	

Result:	Passed
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A motion to close the public hearing was made by Chair Parker and seconded by Member Phillips.

Minutes of April 14, 2026 - VOICE VOTE	
Yes/Aye:	Chair Parker, Member Vinall, Member Klug, Member Phillips, Member Finnerman, Member Patterson, Member Shadman
No/Nay:	None
Abstain:	None
Absent:	
Result:	Passed

A motion to adjourn application to May 12. was made by Chair Parker and seconded by Member Phillips.

Minutes of April 14, 2026 - VOICE VOTE	
Yes/Aye:	Chair Parker, Member Vinall, Member Klug, Member Phillips, Member Finnerman, Member Patterson, Member Shadman
No/Nay:	None
Abstain:	None
Absent:	
Result:	Passed

2. 287-307 SOUTH AVE: AREA VARIANCE

Application for area variances relative to the proposed construction of a multifamily residential building on the properties at 287 and 307 South Avenue, requiring variances of the following sections of the zoning code: Section 19-4.3(c)(2), requiring a minimum secondary street setback of 20 feet to allow a north setback of 5.9 feet and an eastern setback of 2.3 feet, Section 19-4.3(3)(e) which restricts lot coverage to 50% to allow 57.17%, Section 19-6.2(1)(a) which prohibits off-street parking in a front yard to allow 49 spaces in the front yard; Section 19-6.2(11)(a) which requires 93 off-street parking spaces to allow 83 off street parking spaces, and Section 19-6.2(4)(b), which requires planting area 3 feet in width between parking areas and property lines to allow planting areas with a variable width of 1.6 to 10.5 feet, and Section 19-6.2(4)(c) which requires that not more than 12

parking spaces shall be permitted in a continuous row, and not more than 24 spaces shall be permitted in a single parking area without being interrupted by landscaping, to allow 48 continuous spaces with no landscaping in the front yard. Owner/Applicant: PK South Avenue LLC; Consultant: KARC Planning Consultants/Natalie Quinn; Zoning District: CD (Campus Development); Grid # 6061-60-974481 and 982453; File #:ZBA2026-002

Presenters: Kelly Libolt and Jozlyn Young, consultants

A motion to open the public hearing was made by Chair Parker and seconded by Member Patterson.

Minutes of April 14, 2026 - VOICE VOTE	
Yes/Aye:	Chair Parker, Member Vinall, Member Klug, Member Phillips, Member Finnerman, Member Patterson, Member Shadman
No/Nay:	None
Abstain:	None
Absent:	
Result:	Passed

A motion to adjourn the public hearing was made by Chair Parker and seconded by Member Phillips.

Minutes of April 14, 2026 - VOICE VOTE	
Yes/Aye:	Chair Parker, Member Vinall, Member Klug, Member Phillips, Member Finnerman, Member Patterson, Member Shadman
No/Nay:	None
Abstain:	None
Absent:	
Result:	Passed

3. 43 SOUTH CLINTON STREET: AREA VARIANCE (Type 2 Action)

Application for an area variance relative to the proposed placement of a fence on the property line at 43 South Clinton Street, where Section 19-6.8(2) of the Zoning Code requires a 5-foot set-back to any wall containing a legal window to allow a 3.2 foot set-back to 45 South Clinton Street. Owner/Applicant: Dazell & Lorraine Greene; Grid #6161-22-221881; Zoning District: RNC; File #ZBA2026-006

Presenters Dazell Green and Sakima McClinton

A motion to open the public hearing was made by Chair Parker and seconded by Member Patterson.

Minutes of April 14, 2026 - VOICE VOTE	
Yes/Aye:	Chair Parker, Member Vinall, Member Klug, Member Phillips, Member Finnerman, Member Patterson, Member Shadman
No/Nay:	None
Abstain:	None
Absent:	
Result:	Passed

A motion to close the public hearing was made by Chair Parker and seconded by Member Vinall.

Minutes of April 14, 2026 - VOICE VOTE	
Yes/Aye:	Chair Parker, Member Vinall, Member Klug, Member Phillips, Member Finnerman, Member Patterson, Member Shadman
No/Nay:	None
Abstain:	None
Absent:	
Result:	Passed

A motion to Approve was made by Chair Parker and seconded by Member Patterson.

Minutes of April 14, 2026 - VOICE VOTE	
Yes/Aye:	Chair Parker, Member Vinall, Member Klug, Member Phillips, Member Finnerman, Member Patterson, Member Shadman
No/Nay:	None
Abstain:	None
Absent:	
Result:	Passed

4. “59” TAYLOR AVENUE: AREA VARIANCE (Type 2 Action)

Application for an area variance for driveway width relative to the proposed construction of a two-family dwelling on the vacant lot at “59” Taylor Avenue, where Section 19-2.2(4)(e) of the Zoning Code requires a driveway of 15 feet in width, to allow a 9-foot wide driveway.

Owner/Applicant: Mark Runza; Grid #6162-54-131426; Zoning District: RNB; File #ZBA2026-007

Presenter Mark Runza, owner

A motion to open the public hearing was made by Chair Parker and seconded by Member Patterson.

Minutes of April 14, 2026 - VOICE VOTE	
Yes/Aye:	Chair Parker, Member Vinall, Member Klug, Member Phillips, Member Finnerman, Member Patterson, Member Shadman
No/Nay:	None
Abstain:	None
Absent:	
Result:	Passed

A motion to close the public hearing was made by Chair Parker and seconded by Member Patterson.

Minutes of April 14, 2026 - VOICE VOTE	
Yes/Aye:	Chair Parker, Member Vinall, Member Klug, Member Phillips, Member Finnerman, Member Patterson, Member Shadman
No/Nay:	None
Abstain:	None
Absent:	
Result:	Passed

A motion to Approve was made by Chair Parker and seconded by Member Shadman.

Minutes of April 14, 2026 - VOICE VOTE	
Yes/Aye:	Chair Parker, Member Vinall, Member Klug, Member Phillips, Member Finnerman, Member Patterson, Member Shadman

No/Nay:	None
Abstain:	None
Absent:	
Result:	Passed

V. ADJOURNMENT

1. Meeting adjourned to May 12, 2026

A motion to Adjourn was made by Chair Parker and seconded by Member Klug.

Minutes of April 14, 2026 - VOICE VOTE	
Yes/Aye:	Chair Parker, Member Vinall, Member Klug, Member Phillips, Member Finnerman, Member Patterson, Member Shadman
No/Nay:	None
Abstain:	None
Absent:	
Result:	Passed

[MIN_SIGNATURES]

27 South Clinton **AREA VARIANCE** EXHIBIT “A”

1. The granting of the variance will not produce an undesirable change. The site was previously occupied by a house that was destroyed by fire. The construction of a new building on the site will not produce an undesirable change, and will be a benefit in keeping with the character of the neighborhood.
2. Contiguous property is not available for purchase. The requested variances are not significant and are necessary to effectively and efficiently utilize the site and provide additional needed housing and off street parking in the City of Poughkeepsie.
3. The requested variances are not substantial and represent slight relief from the required setback dimensions. The requested variances will not have an adverse effect on the physical or environmental conditions in the neighborhood. The neighborhood is made up of existing buildings in a variety of size and occupancy. Several multifamily dwellings presently exist in the surrounding neighborhood. The proposal is for new construction of a four unit apartment building and should have no adverse impact on the neighborhood.
4. The project will not have an adverse effect on the neighborhood. It is new construction and will be an improvement for the existing vacant lot. The project will benefit the neighborhood and provide additional housing and off street parking needed in the city.
5. The need for the area of variance may be considered a self-created difficulty, when considering that an attempt is being made to develop an empty partial within limiting requirements of the current Zoning regulations. Some minor area variances are necessary in order to provide an adequate investment for the developer and satisfy a need for additional affordable housing in the City of Poughkeepsie.



**THE CITY OF POUGHKEEPSIE
NEWYORK
ZONING BOARD OF APPEALS
62 CIVIC CENTER PLAZA, 2ND FLOOR
POUGHKEEPSIE, NY 12601
Phone: (845) 451-4263**

FEE: \$350
CODE: A2112
ID#: _____
IPS# _____

NOTE: The City of Poughkeepsie never requests and will not accept application fees via wire transfer, ACH, or credit/debit card over the phone or by email. Fees are accepted by check via mail or cash/check in person at City Hall.

AREA VARIANCE APPLICATION

PROPERTY ADDRESS: 27 SOUTH CLINTON STREET
ZONING DISTRICT: RNC

OWNER INFORMATION:

Name: 27 SOUTH CLINTON, LLC
Address: P.O. BOX 372
LAGRANDEVILLE, N.Y. 12540
Phone: [REDACTED]
Email: [REDACTED]

APPLICANT INFORMATION:

Name: QUINCY WILLIAMS (27 SOUTH CLINTON, LLC)
Address: P.O. BOX 372
LAGRANDEVILLE, N.Y. 12540
Phone: [REDACTED]
Email: [REDACTED]

CONSULTANT INFORMATION:

Name: GIRO INTERRANTE, ARCHITECT
Address: 25 MARKET STREET
POUGHKEEPSIE, N.Y. 12601
Phone: [REDACTED]
Email: [REDACTED]

SUBJECT OF APPEAL

This application relative to the above referenced property constitutes an appeal from the decision, determination or violation of an official of the City of Poughkeepsie.

Name and title of agent: _____

Date of decision/determination/violation: _____

Please note that a copy of the communication must be attached with this application.
Revised 12/24: Previous Editions Obsolete

ZONING BOARD OF APPEALS AREA VARIANCE APPLICATION

PROPERTY ADDRESS: 27 SOUTH CUNTON STREET

AREA VARIANCE REQUESTS

All sections under this heading must be answered completely. Bear in mind that a variance is actually relief from the strict application of the requirements of the law (the Zoning Ordinance), and the Zoning Board of Appeals is required to give sound reasons, based on the criteria set forth in this application, for granting any such relief.

SECTION	REQUIRING/PROHIBITING	REQUESTED VARIANCE
<u>19-6.2(1)(F)</u>	<u>20' PARKING LENGTH</u>	<u>2'</u>
<u>19-6.2(1)(F)</u>	<u>22' AISLE</u>	<u>1'</u>
<u>19-2.3(2)(G)</u>	<u>5' REAR YARD</u>	<u>2'</u>
<u>19-2.3(3)(A)</u>	<u>20' OR 12' FRONT YARD</u>	<u>6'</u>

VARIANCE REQUEST JUSTIFICATION

Pursuant to Section 19-9.10(11)(c) of the Zoning Ordinance, the Zoning Board of Appeals, in making its determination, shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such granting.

Bear in mind that a variance is actually relief from the strict application of the requirements of the law (the Zoning Ordinance), and the Zoning Board of Appeals is required by law to give sound reasons, based on the criteria set forth in this application, for granting any such relief. **Please note that it is therefore incumbent upon the applicant to demonstrate to the Board that the criteria for the granting of the variance(s) are satisfied.**

Responses to the following questions shall be attached to and submitted with the application.

- 1) Will the granting of the variance produce an undesirable change in the character of the neighborhood or be a detriment to nearby properties? If not, please explain why.
- 2) Can the benefit sought be achieved by some other method feasibly for the applicant to pursue, other than an area variance? Identify what alternatives to the variance, if any, have been explored (for example, alternative designs, purchasing of contiguous properties, etc.). Why is the variance necessary?
- 3) Is/are the requested area variance(s) substantial? Explain why they are not substantial.
- 4) Will the variance(s) have an adverse affect or impact on the physical or environmental conditions in the neighborhood or district? Why not?
- 5) Is the need for the area variance(s) the result of self-created difficulties on your part, or unique to the property? Explain.

ZONING BOARD OF APPEALS AREA VARIANCE APPLICATION

PROPERTY ADDRESS: 27 SOUTH CLINTON STREET

LIST OF REQUIRED ATTACHMENTS

1. Letter or communication which resulted in application to the ZBA.
2. Site or Plot Plan: Nine (9) copies.
3. Color photos of site conditions: Nine (9) copies
4. Complete Short EAF
5. Electronic file submission of the plot plan and color photos
6. Other attachments deemed pertinent by the applicant (please list):

SEE EXHIBIT "A"

SIGNATURE AND VERIFICATION

Please be advised that no application can be deemed complete unless signed below.

THE APPLICANT HEREBY STATES THAT ALL INFORMATION GIVEN IS ACCURATE AS OF THE DATE OF APPLICATION. THE APPLICANT, IF NOT THE OWNER OF THE PROPERTY, HEREBY SWEARS THAT THIS APPLICATION IS MADE WITH THE INFORMED KNOWLEDGE AND CONSENT OF THE OWNER.



SIGNATURE OF APPLICANT

4/6/2026
DATE

QUINCY WILLIAMS
Print Name





January 26, 2026

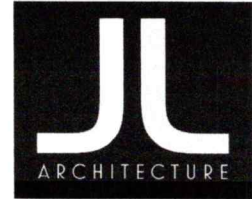
Dear City of Poughkeepsie Zoning Board Members,

I, Jordan Bell, want to thank the Zoning Board for the opportunity to speak in person on January 13, 2026, to express my desire to alter my home at 20 Lexington Ave. from a 2-family to a 3-family residence. I also thank Judith Knauss for taking the time to meet with Jason Lichwick, my architect, and me to better help us understand some of the neighborhood's zoning history and the Zoning Board's concerns.

I am writing to the Zoning Board to share some financial issues that contribute to my desire to convert my home to a 3-family residence. After meeting with the Zoning Board and Judith Knauss in January and reflecting more deeply on my current financial status, I have spoken with my mother (who lives on the second floor) and have decided to charge her \$1,500 per month in rent. Thus, I now collect \$3,000 per month in rent from my first- and second-floor tenants. Even with the increased rental income, I am still paying over \$2,000 a month in household expenses. While I did not purchase my home with the intentions of making a profit, I do expect to offset some of my cost-of-living expenses through collecting rental income. I will face extreme financial difficulties if I am unsuccessful in obtaining the Zoning Board's permission to make my home a 3-family house, due, in part, to the rapidly increasing costs of rent in Poughkeepsie that I will incur by moving out of my home of 20 years to a different apartment, in addition to paying my current household expenses. I want to close by thanking the board for considering my financial situation when making their decision about 20 Lexington Ave.

Sincerely,
Jordan Bell
Jordan Bell

Mortgage A	\$3204.73
Mortgage B	\$128.10
Central Hudson	\$655.58
Estimated Monthly Upkeep and Repairs	\$500
Water and Sewer Bill	84.99
Garbage Removal	102.76
Appliance Replacement	\$110.00
Yard Maintenance and Snow Removal	\$150.00
Spectrum Internet	\$101.54
Average Monthly Expenses	\$5037.70



January 27, 2026

Scott Parker, Zoning Board Chair
City of Poughkeepsie - Zoning Board of Appeals
62 Civic Center Plaza, 2nd Floor
Poughkeepsie, NY 12601

Re: 20 Lexington St.

Dear Mr. Parker,

The property at 20 Lexington Street is currently under review by Zoning Board of Appeals to change its designation from 2-unit housing to 3-unit housing. Our client is seeking a variance for Lot Area. The required Lot Area in the RNC District is 5,000 sq. ft. for 3-unit housing. The Lot Area at 20 Lexington Street is 3,980 sq. ft. and therefore needs a variance of 1,020 sq. ft. Below are three other multi-unit properties located on Lexington Street which do not meet the Lot Area requirement.

26 Lexington Street (3-unit Housing)
Lot = 0.08 Acres (3,485 sq. ft.)
5,000 sq. ft. required
1,515 sq. ft. under the required Lot Area

9 Lexington Street (3-unit Housing)
Lot = 0.09 Acres (3,920 sq. ft.)
5,000 sq. ft. required
1,080 sq. ft. under the required Lot Area

22 Lexington Street (6-unit Housing)
Lot = 0.12 Acres (5227 sq. ft.)
6,000 sq. ft. required
773 sq. ft. under the required Lot Area

We hope the Zoning Board of Appeals recognizes that there is a precedent for allowing multi-unit housing which does not meet the district's Lot Area requirements on Lexington Street and will grant our client the required variance.

Thank you for your time and consideration in this matter.

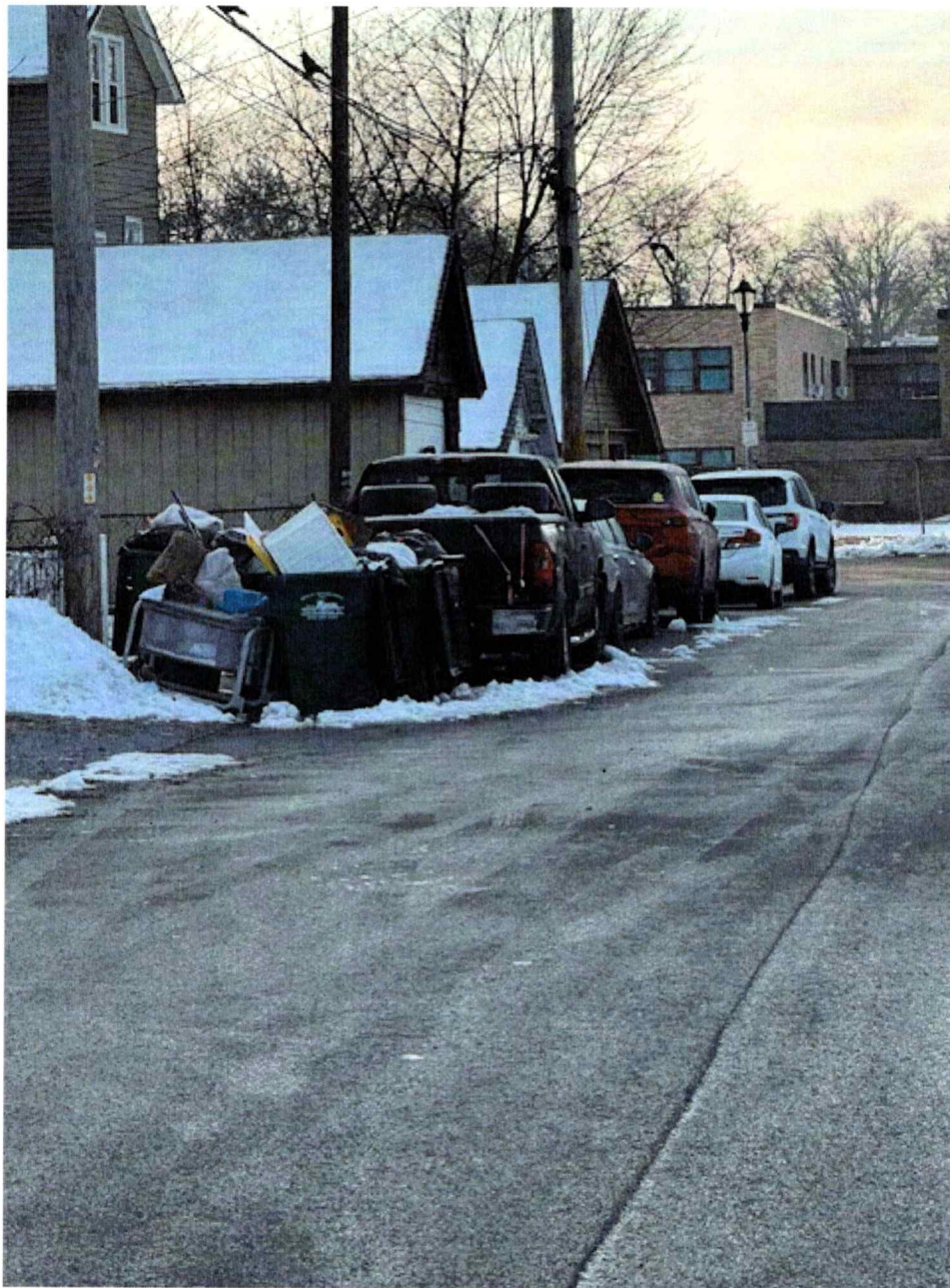
Very truly yours,

Jason Lichwick
NYSRA Lic. No. 038612

Jason Lichwick

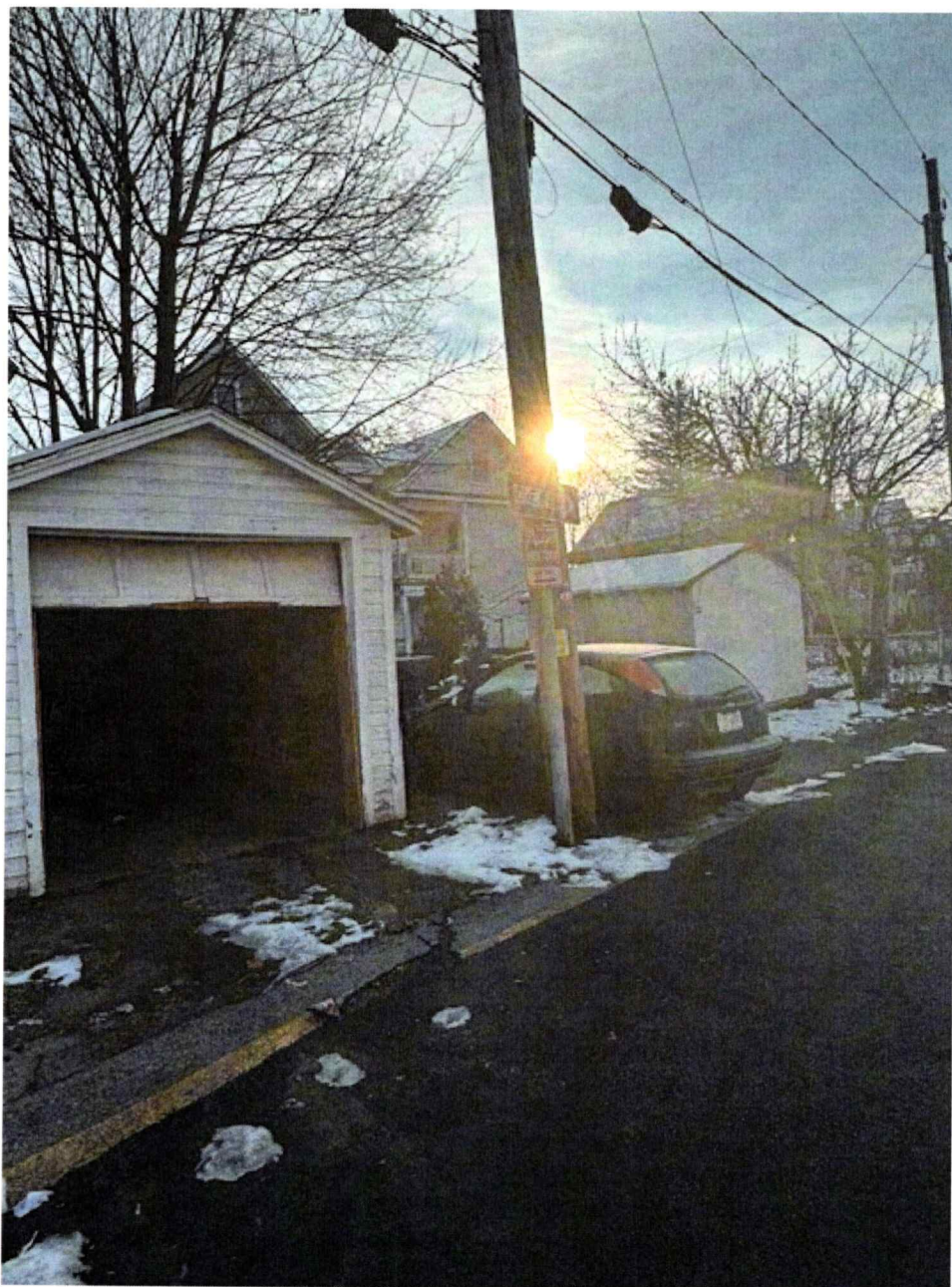
From: Jason Lichwick
Sent: Monday, February 2, 2026 10:51 AM
To: Jason Lichwick
Subject: FW: Photos



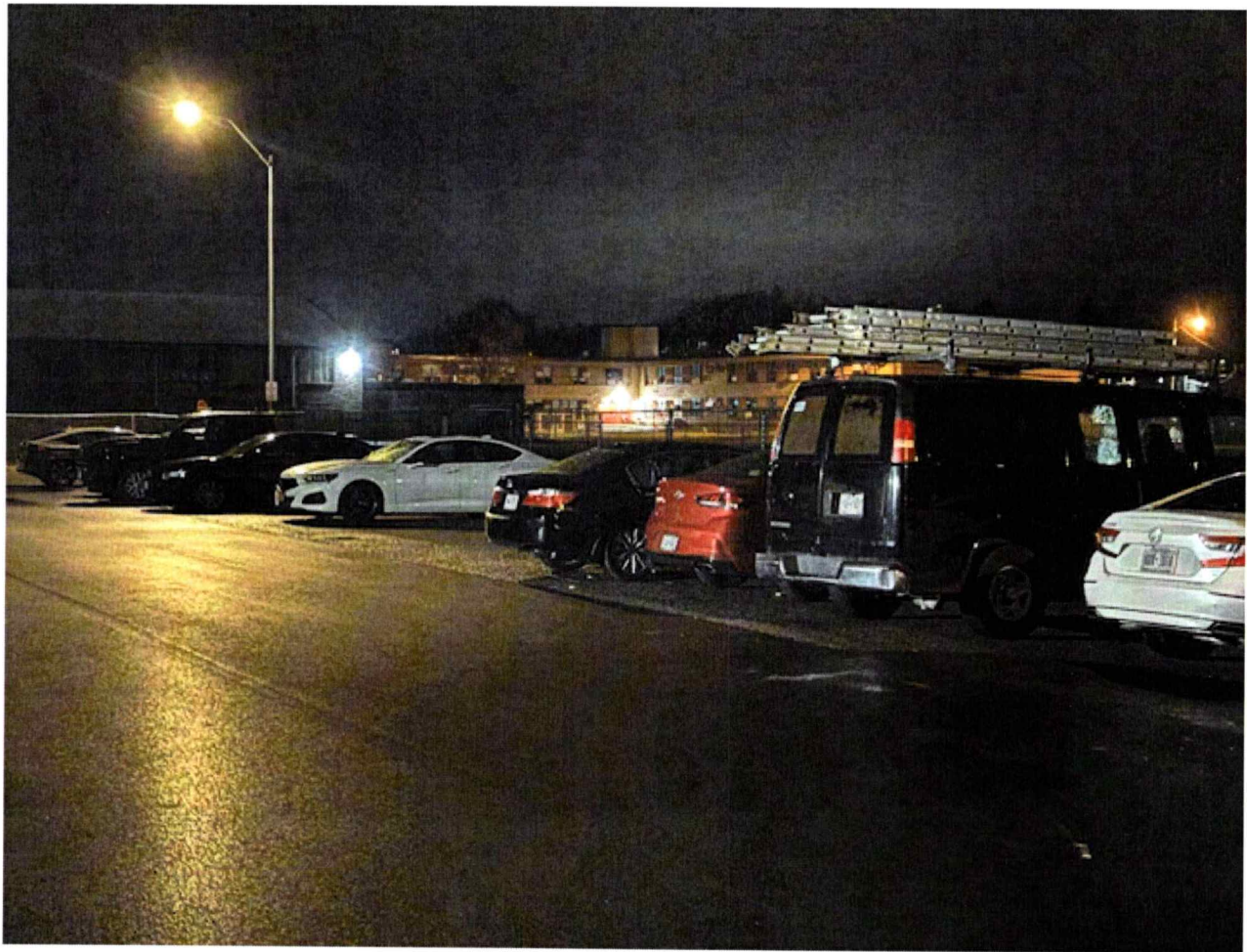


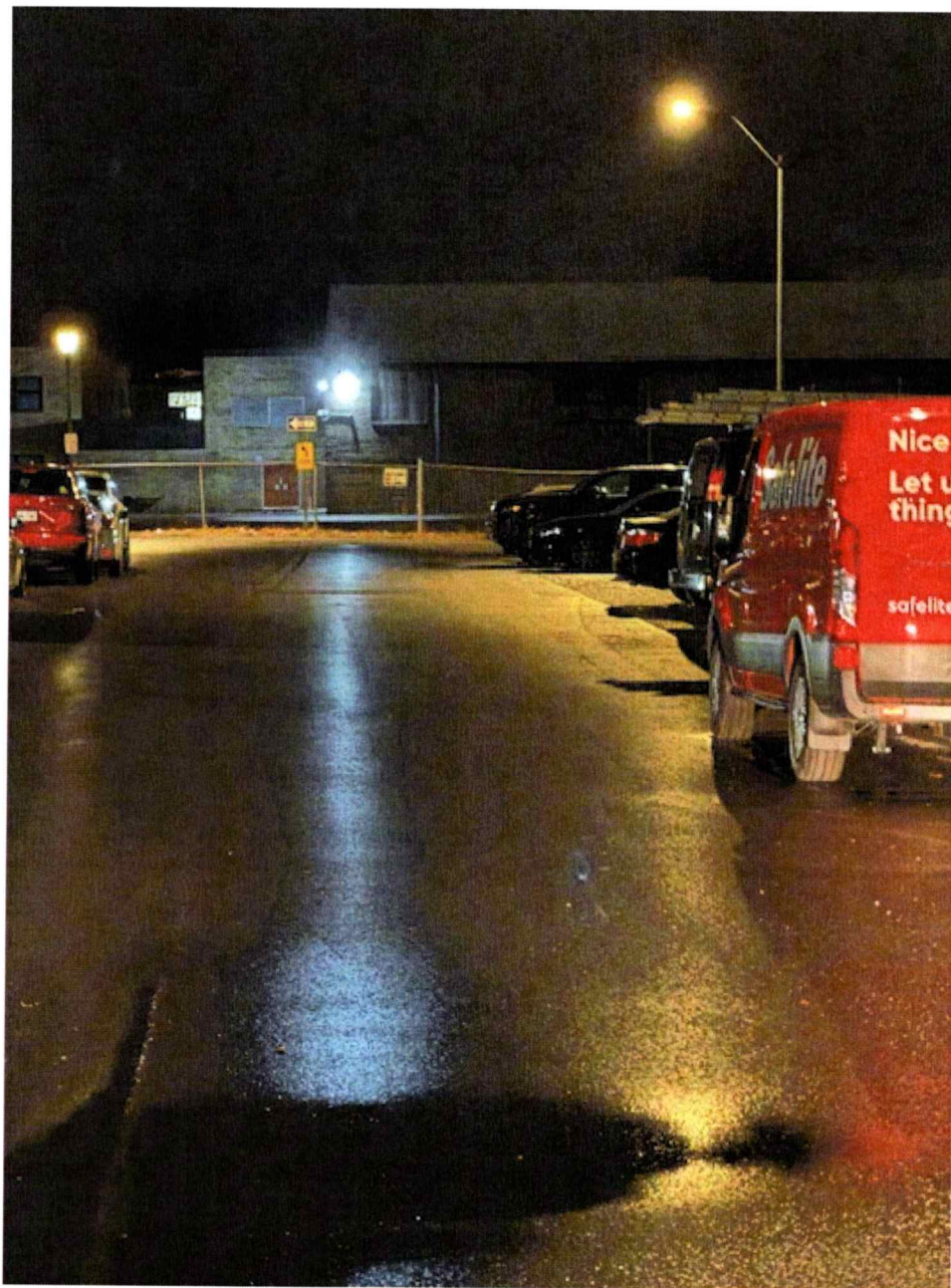


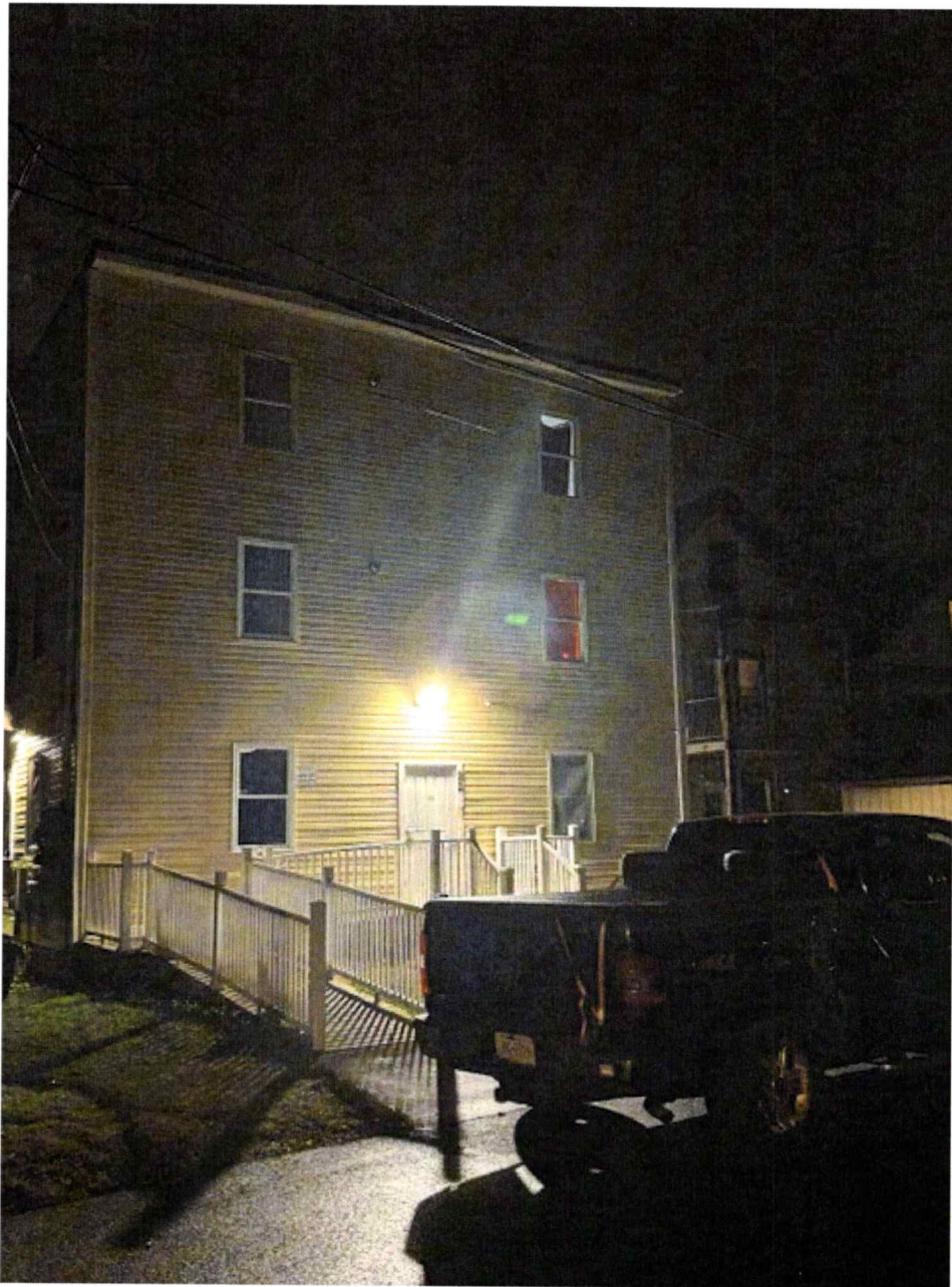




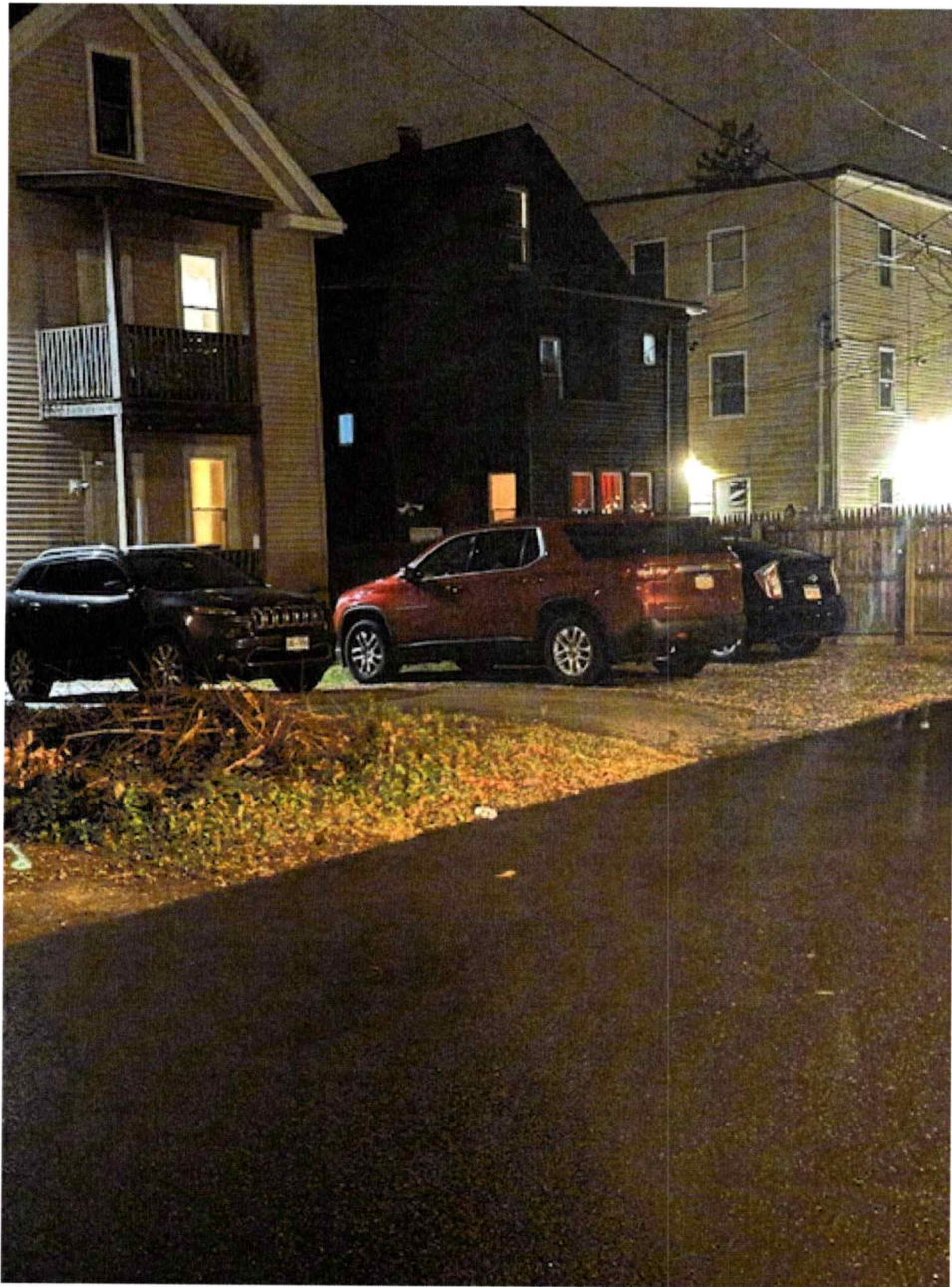


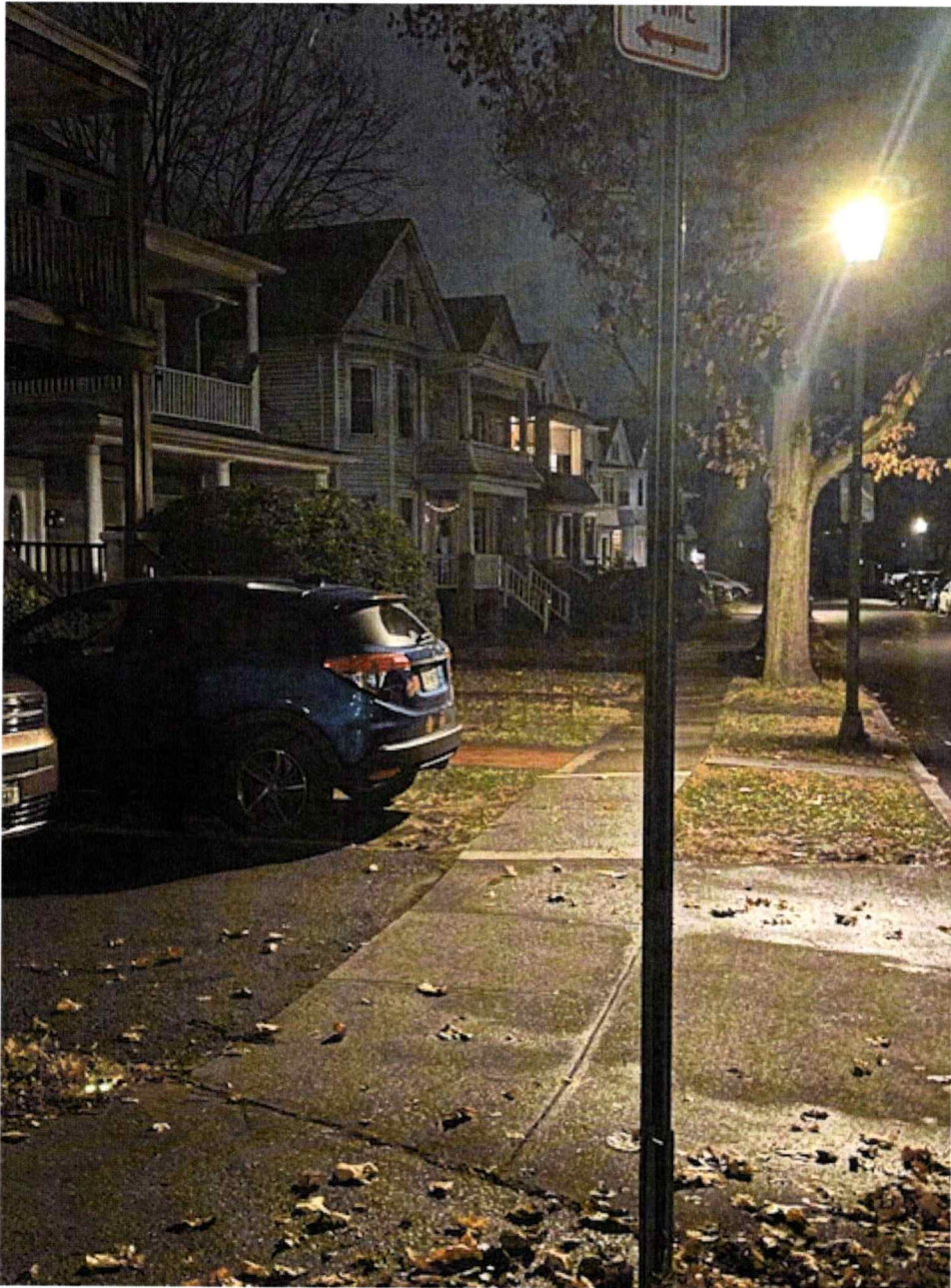


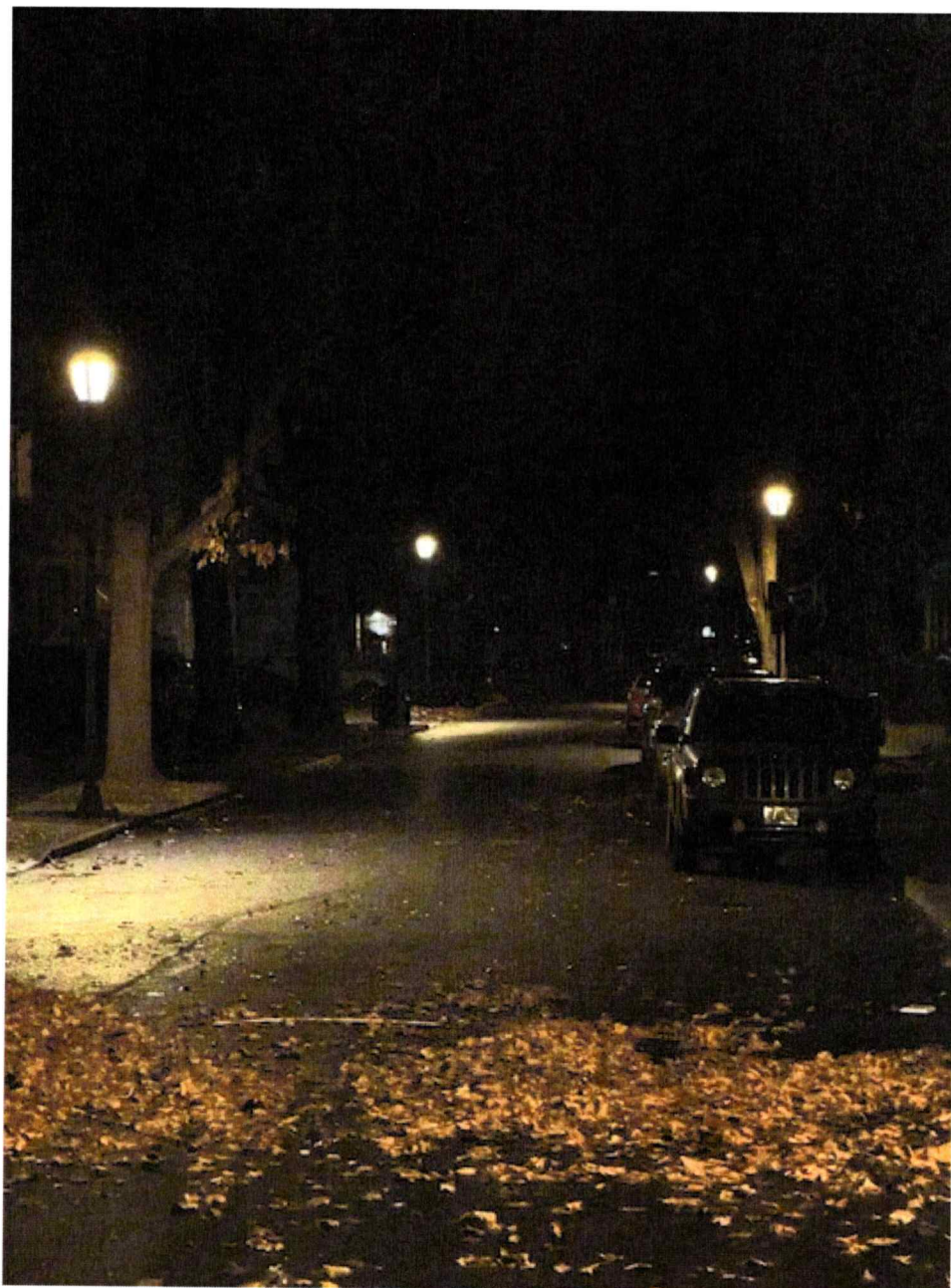


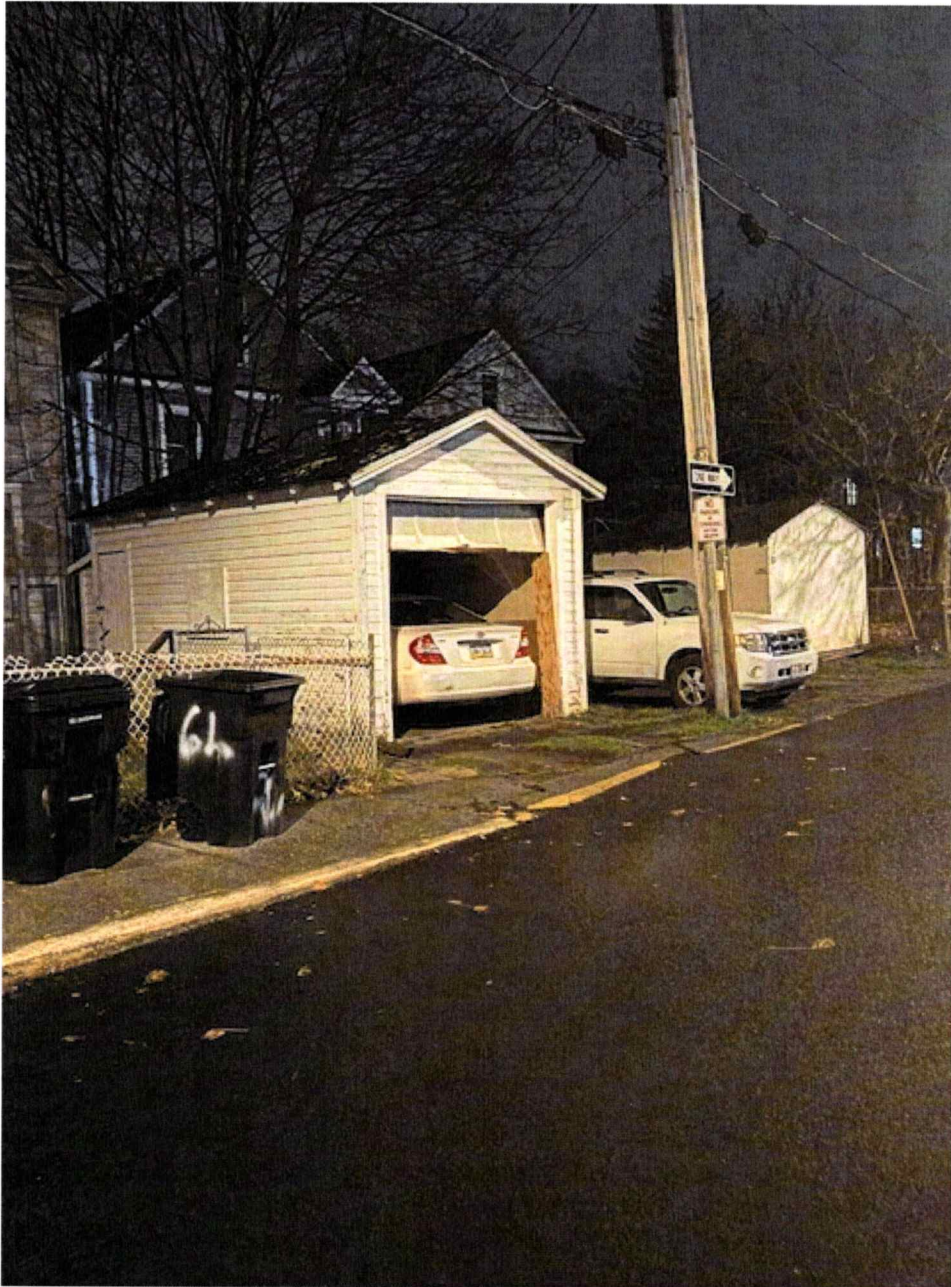


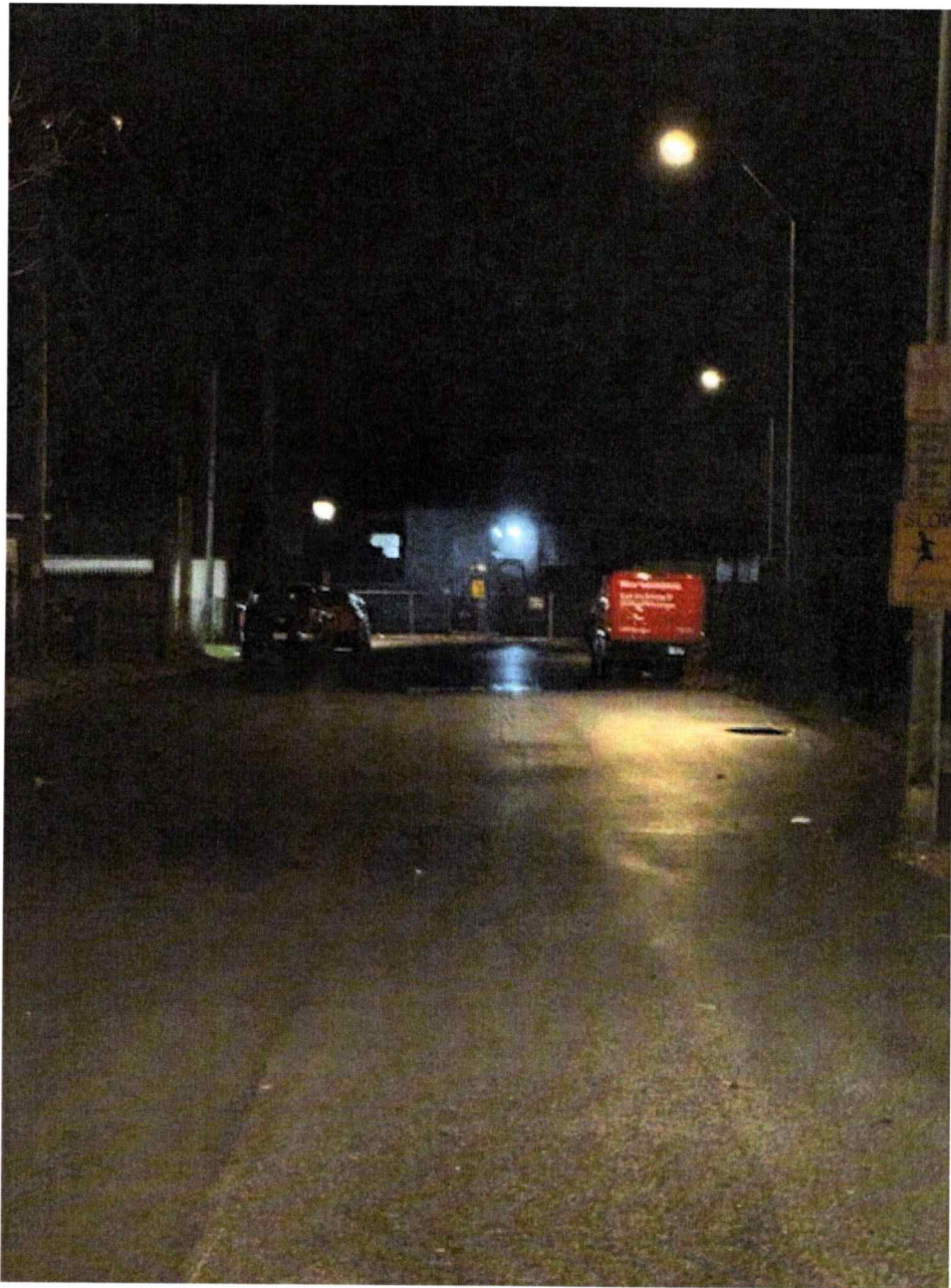














**THE CITY OF POUGHKEEPSIE
NEW YORK
ZONING BOARD OF APPEALS
62 CIVIC CENTER PLAZA, 2ND FLOOR
POUGHKEEPSIE, NY 12601
Phone: (845) 451-4263 Fax: (845) 451-4006**

FEE: \$350 CODE: A2112 ID#: _____ IPS# _____

AREA VARIANCE APPLICATION

PROPERTY ADDRESS: 20 Lexington Ave., Poughkeepsie, NY

ZONING DISTRICT: Residential Neighborhood C (RNC)

OWNER INFORMATION:

Name: Jordan Bell

Address: 20 Lexington Ave.

Poughkeepsie, NY 12601

Phone: _____

Email: _____

APPLICANT INFORMATION:

Name: Jason Lichwick Architecture PLLC

Address: 387 Hooker Avenue, Suite 5

Poughkeepsie, NY 12603

Phone: 845-284-6344

Email: _____

CONSULTANT INFORMATION:

Name: Jason Lichwick Architecture

Address: 387 Hooker Ave.

Poughkeepsie, NY 12603

Phone: 845-284-6344

Email: _____

SUBJECT OF APPEAL

This application relative to the above referenced property constitutes an appeal from the decision, determination or violation of an official of the City of Poughkeepsie.

Name and title of agent: Judith Knauss, Deputy Zoning Administrator

Date of decision/determination/violation: August 28, 2025

Please note that a copy of the communication must be attached with this application.

ZONING BOARD OF APPEALS AREA VARIANCE APPLICATION

PROPERTY ADDRESS: 20 Lexington Ave., Poughkeepsie

AREA VARIANCE REQUESTS

All sections under this heading must be answered completely. Bear in mind that a variance is actually relief from the strict application of the requirements of the law (the Zoning Ordinance), and the Zoning Board of Appeals is required to give sound reasons, based on the criteria set forth in this application, for granting any such relief.

SECTION	REQUIRING/PROHIBITING	REQUESTED VARIANCE
<u>19-2.3(2)(a)</u>	<u>Requires 5000 sf of lot area be provided for a 3-family dwelling</u>	<u>Existing lot is 3920.4 sf. Requesting variance of 1079.6 sf.</u>
<u>19-2.3(2)</u>	<u>Prohibits front yard parking</u>	<u>Requesting to allow "front" yard parking at the rear of the house</u>
<u>19-2.3(4)(a)</u>	<u>Max. height of building is 2.5 stories/ 35 ft.</u>	<u>Requesting 3rd story (this will exist w/in the existing attic space height remains unchanged)</u>
<u>19-2.3(2)(h)</u>	<u>Max. driveway width of 15 ft.</u>	<u>Existing driveway is 17'-1" Requesting variance of 2'-1"</u>
<u>19-6.2(1)(11)</u>	<u>Requires 4 off-street parking spaces provided (incl. 1 accessible space)</u>	<u>Requesting 2 off-street parking spaces & no accessible parking space</u>

VARIANCE REQUEST JUSTIFICATION

Pursuant to Section 19-9.10(11)(c) of the Zoning Ordinance, the Zoning Board of Appeals, in making its determination, shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such granting.

Bear in mind that a variance is actually relief from the strict application of the requirements of the law (the Zoning Ordinance), and the Zoning Board of Appeals is required by law to give sound reasons, based on the criteria set forth in this application, for granting any such relief. **Please note that it is therefore incumbent upon the applicant to demonstrate to the Board that the criteria for the granting of the variance(s) are satisfied.**

Responses to the following questions shall be attached to and submitted with the application.

- 1) Will the granting of the variance produce an undesirable change in the character of the neighborhood or be a detriment to nearby properties? If not, please explain why.
- 2) Can the benefit sought be achieved by some other method feasibly for the applicant to pursue, other than an area variance? Identify what alternatives to the variance, if any, have been explored (for example, alternative designs, purchasing of contiguous properties, etc.). Why is the variance necessary?
- 3) Is/are the requested area variance(s) substantial? Explain why they are not substantial.
- 4) Will the variance(s) have an adverse affect or impact on the physical or environmental conditions in the neighborhood or district? Why not?
- 5) Is the need for the area variance(s) the result of self-created difficulties on your part, or unique to the property? Explain.

ZONING BOARD OF APPEALS AREA VARIANCE
APPLICATION

PROPERTY ADDRESS: _____
AREA VARIANCE REQUESTS

LIST OF REQUIRED ATTACHMENTS

1. Letter or communication which resulted in application to the ZBA.
2. Site or Plot Plan: Nine (9) copies.
3. Color photos of site conditions: Nine (9) copies
4. Complete Short EAF
5. Electronic file submission of the plot plan and color photos
6. Other attachments deemed pertinent by the applicant (please list):

SIGNATURE AND VERIFICATION

Please be advised that no application can be deemed complete unless signed below.

THE APPLICANT HEREBY STATES THAT ALL INFORMATION GIVEN IS ACCURATE AS OF THE DATE OF APPLICATION. THE APPLICANT, IF NOT THE OWNER OF THE PROPERTY, HEREBY SWEARS THAT THIS APPLICATION IS MADE WITH THE INFORMED KNOWLEDGE AND CONSENT OF THE OWNER.



SIGNATURE OF APPLICANT

9/22/2025

DATE

JASON LICHTWICK

Print Name



September 22, 2025

Mr. Scott Parker, Chair of Zoning Board of Appeals
City of Poughkeepsie
62 Civic Center Plaza
Poughkeepsie, NY 12601

Re: 20 Lexington Avenue – Legalize an Existing Three-Family Dwelling

Dear Mr. Parker,

The applicant would like to convert a 2-family dwelling to a 3-family dwelling thereby legalizing the existing third floor unit. 3-Family dwelling units are an accepted use in this zoning district. The area variance requests are for Lot Area, “Front” yard Parking, Building Height, Driveway Width and Off-Street Parking. Please see our responses (**in bold**) to the Area Variance Justification Questions.

1. Will the granting of the variance produce an undesirable change in the character of the neighborhood or be a detriment to nearby properties. If not, please explain why.
The granting of listed variances will not produce an undesirable change in the character of the neighborhood or be a detriment to the nearby properties because the building, use and occupancy will not change. The purpose of these requests is to legalize a pre-existing condition and to address non-conforming conditions due to recent changes to the zoning code.
2. Can the benefit sought be achieved by some other method feasibly for the applicant to pursue, other than an area variance? Identify what alternative to the variance, if any have been explored (for example, alternative designs, purchasing contiguous properties, etc.). Why is the variance necessary? **The benefit cannot be achieved by some other method. It is unfeasible for the applicant to purchase neighboring properties nor is it possible to change the existing footprint of the building to accommodate the requested variances.**
3. Is/are the requested area variance(s) substantial? Explain why they are not substantial.
The requested area variances are not substantial as they are created by pre-existing conditions. To address the parking variance, there is considerable on-street parking available on Quaker Ln., the “front” on to which the rear of the house faces. The conversion of the house from 2.5 stories to 3 stories is not substantial as it does not change the height or the roofline of the building.
4. Will the variance(s) have an adverse effect on or impact on the physical or environmental conditions in the neighborhood or district? Why not? **The requested area variances are not substantial and will not create additional hardship in the neighborhood. On-street parking is widely available and the building will remain unchanged. Otherwise, all requested variances are pre-existing, non-conforming conditions.**



5. Is the need for the area variance(s) the result of self-created difficulties on your part, or unique to the property. Explain. **The need for the variances is not self-created. With the exception of the height of the building, the requested variances are due to pre-existing, non-conforming conditions. The building height will remain unchanged, and the half story will be designated as a full story to provide for the additional dwelling unit.**

Thank you for your time and consideration in this matter.

Sincerely yours,

Jason Lichwick
NYSRA Lic. No. 038612

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Bell Residence			
Project Location (describe, and attach a location map): 20 Lexington Avenue, Poughkeepsie, NY 12603			
Brief Description of Proposed Action: The Owner of the property wants to legalize an existing three story,three-unit multifamily structure.			
Name of Applicant or Sponsor: Jason Lichwick Architecture PLLC		Telephone: 845-284-6344 E-Mail: jason@JLArchitectureNY.com	
Address: 387 Hooker Avenue, Suite 5			
City/PO: Poughkeepsie		State: New York	Zip Code: 1263
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: City of Poughkeepsie Zoning Board of Appeals			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 0.091 acres b. Total acreage to be physically disturbed? _____ 0 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 0.091 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT OR ENGINEER, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT OR ENGINEER IS ALTERED, THE ALTERING ARCHITECT OR ENGINEER SHALL AFFIX TO HIS ITEM THE SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION. NOTE: DO NOT SCALE FROM SEAL.



Site Plan for 20 Lexington Ave.
Jordan Bell
S.B.L. 6161-32-453840
P.O. Box 3668
Poughkeepsie, NY 12603

For Zoning Board of Appeals Review

Date: 09.22.2025
Revisions:
1: 1.27.2026

Drawn By: HP

SP-1

BULK TABLE REQUIREMENTS		
ZONING INFORMATION	ZONE : RNC (Residential Neighborhood C)	
	Proposed Use : Three-unit Housing	
	Permitted with: By Right	
MINIMUM REQUIREMENTS		
	Required	Provided
Lot Area	5,000 S.F. (for 3-unit housing)	*3,980 SF+/-**
Lot Width	25 FT	37.5 FT
Street Frontage	70 FT	37.5 FT
Parking (1.25 per Unit)	3.75 spaces	*2 spaces**
YARD SETBACKS		
	Required	Provided
Front	Avg./20 FT	20'-5"
Rear	15 FT	32'-10"
Side (North)	5 FT	9'-1"
Side (South)	5 FT	*3'-0"
MAXIMUM PERMITTED		
	Permitted	Provided
Lot Coverage (70%)	2,786 SF (70% of 3980sf)	2,178 SF +/- (55% of 3980sf)
Building Height	2.5 Stories/35 FT	3 Stories/35 FT**
Driveway Width	15 FT	15'-0"

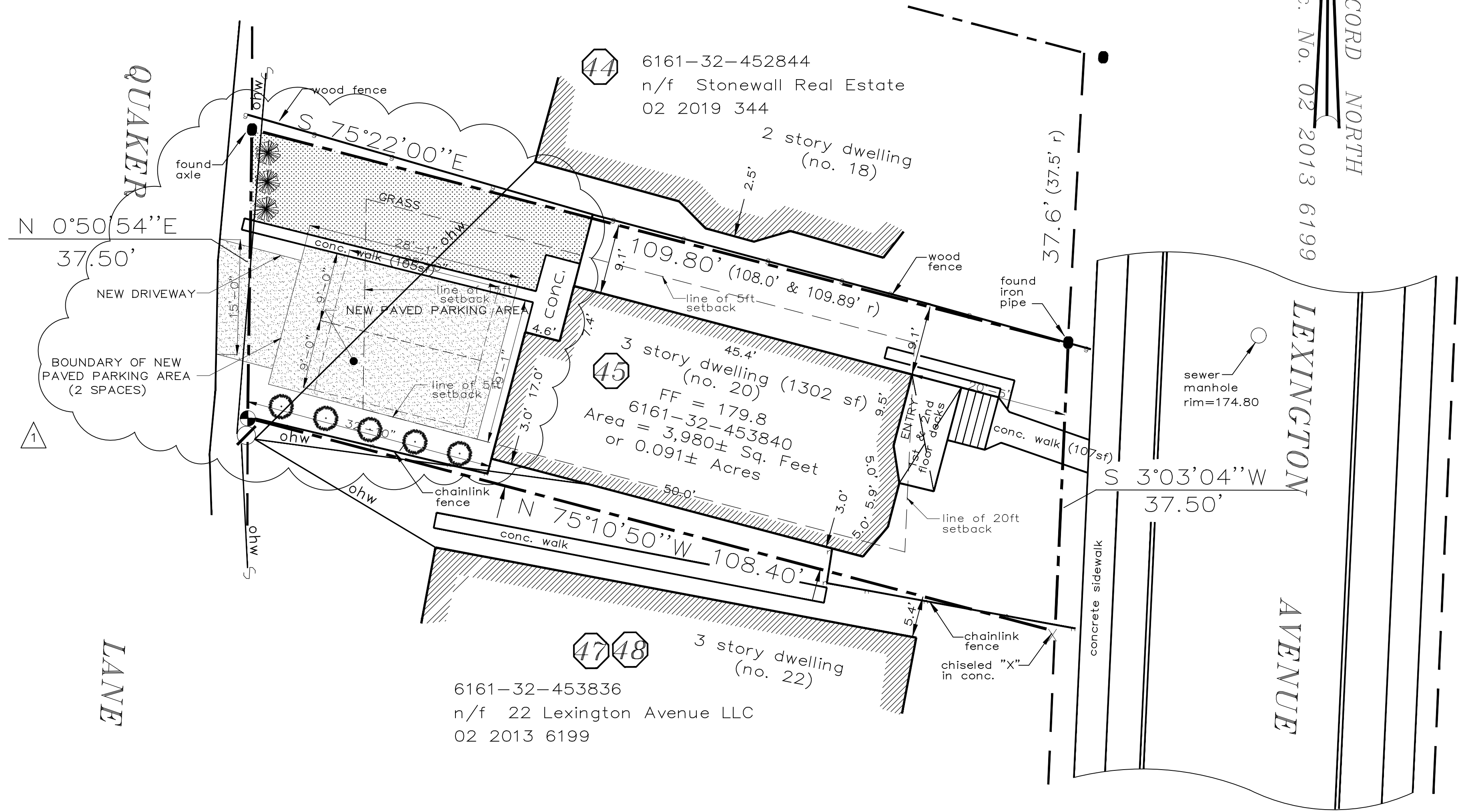
LANDSCAPE LEGEND			
SYMBOL	SPECIES	QUANTITY	SIZE
	SKY ROCKET BLUE JUNIPER OR SIMILAR	5	HEIGHT: 15 FT. - 20 FT. SPREAD: 2 FT. - 3 FT. SPACING: 6 FT.
	VANILLA SPICE SUMMERSWEET OR SIMILAR	3	HEIGHT: 6 FT. SPREAD: 5 FT. SPACING: 6 FT.



2 Site Location Map
Scale: N.T.S.

NOTE: INFORMATION ON THIS PLAN HAS BEEN TAKEN FROM A PROPERTY SURVEY PREPARED BY JAMES SHERIDAN, LS NYS LIC. # 49721 FOR JORDAN E. BELL DATED: APRIL 23, 2025

- MAP LEGEND:**
- capped iron rod set
 - iron rod or pipe found
 - property line
 - road boundary (right-of-way)
 - record information
 - now or formerly (reputed owner)
 - document no. (D.C.C.D.)
 - index (book) and page (D.C.C.D.)
 - Dutchess Co. tax map parcel no.
 - subdivision lot no. (see map note no. 6)
 - utility pole & overhead wires



- MAP NOTES:**
- Underground improvements or encroachments, if any, are not shown hereon.
 - Subject to all rights, covenants, restrictions, easements and rights-of-way of record.
 - Subject Deed Jordan E. Bell and Anthony E. McIntosh to Jordan E. Bell recorded in the D.C.C.D. as Document Number 02-2007-7863 on October 29, 2007.
 - Parcel Grid Identification No: 131300-6161-32-453840-0000; Municipality: Poughkeepsie City.
 - No abstract of title was provided at time of survey - this map and survey are subject to any state of facts that an up-to-date abstract of title might disclose.
 - Filed Map Reference:

File Map No. 652: "SECTION 1 MAP OF CIRCUS PARK LOTS POUGHKEEPSIE N.Y. FOR EDGAR W. FOSTER" subdivided and mapped September, 1907; filed October 1, 1907.

1 Existing Site Plan
Scale: 1" = 10'-0"

HUDSON RIVER HOUSING WINDOWS ON MAIN MIXED-USE SITE PLAN DESIGN APRIL 2026

CITY OF POUGHKEEPSIE
DUTCHESS COUNTY, NY

Tax Parcels:
APN: 131300-6161-23-209979 488 MAIN ST 1.765 AC

List of Adjoiners:

131300-6161-23-307976	City of Poughkeepsie
131300-6161-23-321980	Tuthill Finance Limited
131300-6161-23-299954	Susan Cecchini
131300-6161-23-282992	MLQ Realty Management
131300-6161-23-280971	HV Realty Corp
131300-6161-23-292960	Poly Joynr
131300-6161-23-295959	Edward & Diane Ticcony
131300-6161-23-303958	Ivette Acevedo
131300-6161-23-313968	Sharon Smith-Brown

Sheet List Table	
Sheet Number	Sheet Title
C001	TITLE SHEET
C002	LEGEND & NOTES
C100	EXISTING CONDITIONS PLAN
C101	DEMO PLAN
C200	SITE PLAN
C201	TURNING PLAN - GARBAGE TRUCK
C202	TURNING PLAN - LADDER TRUCK
C203	UTILITY PLAN
C204	GRADING PLAN
C205	LIGHTING PLAN
C205	EROSION AND SEDIMENT CONTROL PLAN
C300	DETAILS 1
C301	DETAILS 2
C302	DETAILS 3
C303	DETAILS 4
C304	DETAILS 5
C305	DETAILS 6
C304	DETAILS 7
L001	LANDSCAPE NOTES
L100	LANDSCAPE PLAN
L200	LANDSCAPE DETAILS

CIVIL ENGINEER:
CPL, ARCHITECTURE, ENGINEERING, PLANNING
26 IBM ROAD
POUGHKEEPSIE, NY 12601

ARCHITECT:
COPPOLA ASSOCIATES
6 OLD NORTH PLANK ROAD, SUITE 101
NEWBURGH, NY 12550

PROJECT LOCATION:
488 MAIN STREET
POUGHKEEPSIE, NY 12601
TAX GRID NO. 131300-6161-23-290979

APPLICANT:
HUDSON RIVER HOUSING, INC.
313 MILL STREET
POUGHKEEPSIE, NY 12601

PROPERTY OWNER:
HUDSON RIVER HOUSING, INC.
313 MILL STREET
POUGHKEEPSIE, NY 12601

City of Poughkeepsie

**FOR REVIEW ONLY
NOT FOR PERMIT OR
CONSTRUCTION**

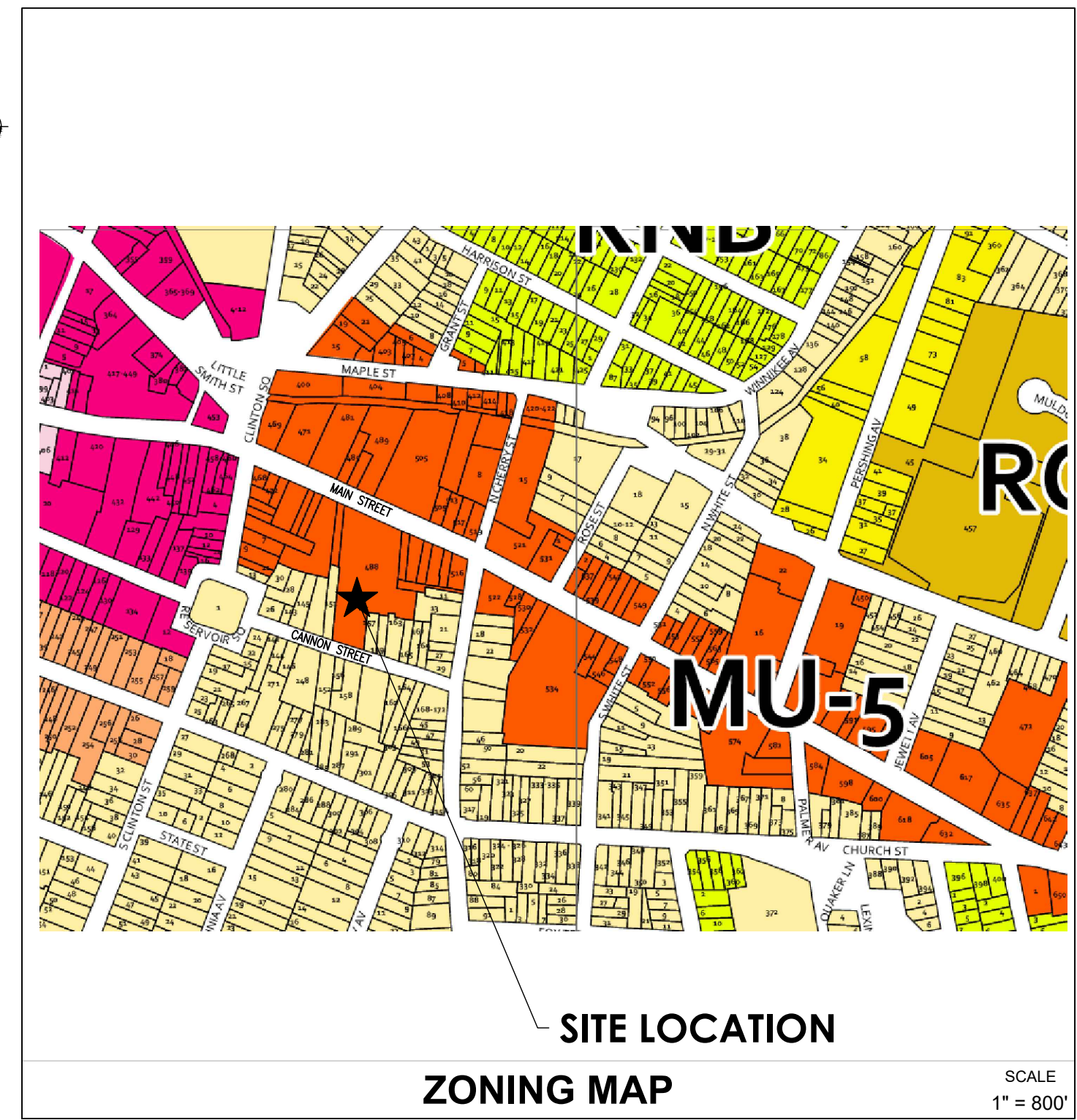
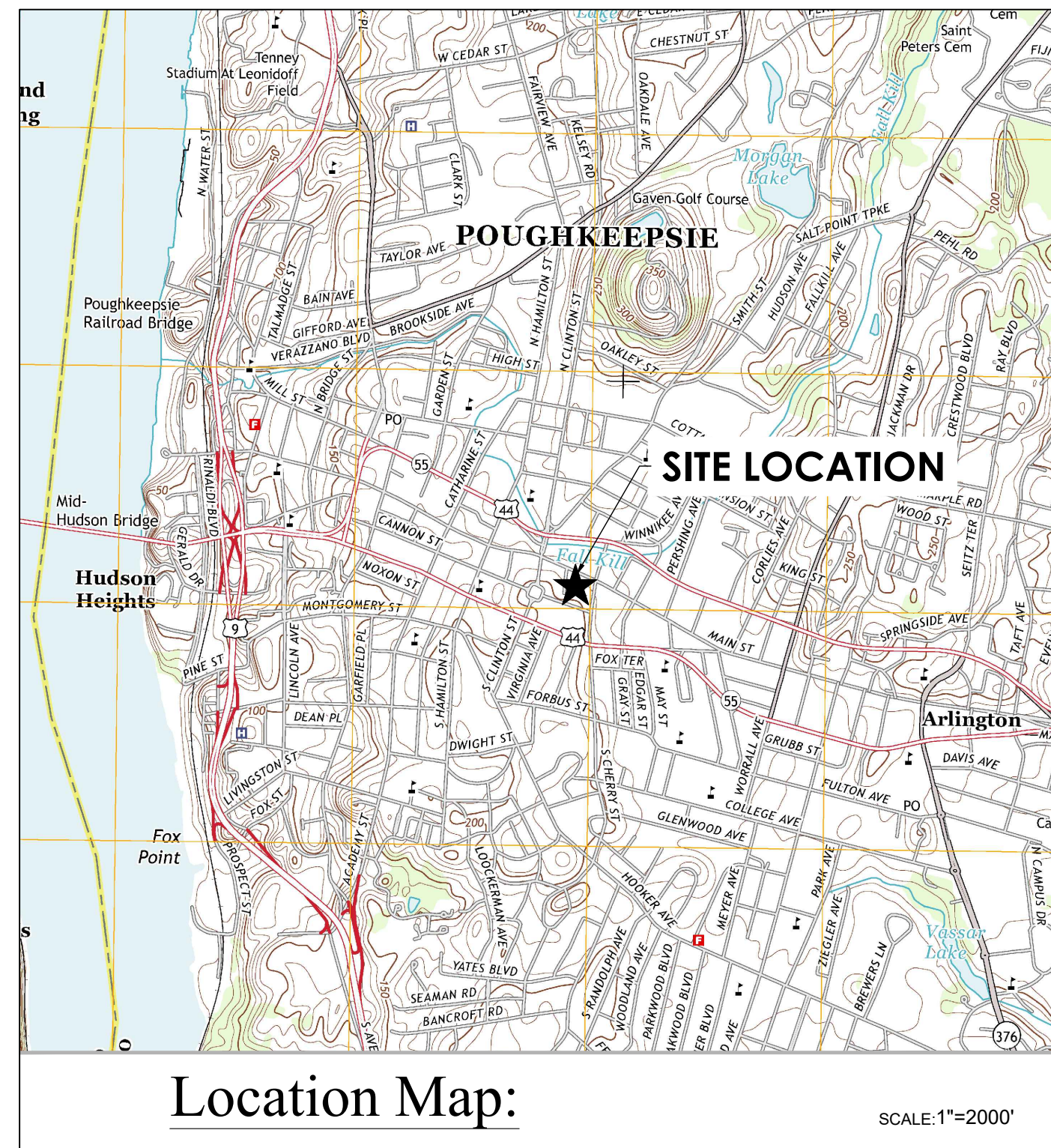
SHEET INFORMATION	
Issued	06/24/25
Project Status	DESIGN
Drawn By	ACL
Drawing Title	TITLE SHEET
Scale	AS NOTED
Civil Revision Number	0
Checked By	ALL

Drawing Number
**WOM
C001**

CITY PLANNING BOARD
CITY OF POUGHKEEPSIE, NEW YORK
SITE PLAN APPROVAL
FILE NO:
PROJECT NAME:
PROJECT LOCATION:
APPLICANT:
**OFFICIALLY APPROVED AT THE PLANNING BOARD MEETING HELD
THE ____ DAY OF _____ 2026**
PLANNING CHAIR:
DESIGNEE:
DATE SIGNED:
CONDITION(S):

OWNER CONSENT
THE UNDERSIGNED OWNER(S) OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH ALL PLANS LISTED ON THE DRAWING LIST, ITS CONTENTS AND LEGENDS AND HEREBY CONSENT TO ALL TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THE PLAT IN THE OFFICE OF THE CLERK OF THE COUNTY OF DUTCHESS.

OWNER SIGNATURE _____ DATE _____
FIRE CHIEF _____
POLICE CHIEF _____
BUILDING INSPECTOR _____
CITY ENGINEER _____
COMMISSIONER OF PUBLIC WORKS _____





CPLE | Architecture Engineering Planning
26 Elm Road
Poughkeepsie, NY 12601
CPLeam.com



PROJECT INFORMATION

Project Number
15064.00

Client Name
HUDSON RIVER HOUSING

Project Name
WINDOWS ON MAIN

Project Address
488 MAIN STREET POUGHKEEPSIE, NY 12601

PROJECT ISSUE & REVISION SCHEDULE

No.	Date	Description
1	8/13/2025	REVISED ALL SHEETS
2	8/20/2025	REVISED SITE PLAN
3	9/10/2025	REVISED SITE PLAN
4	11/11/2025	CITY OF Poughkeepsie REVIEW COMMENTS ON 09/28/25
5	1/02/2026	REVISING TO WORKING AND BUILDING FOOTPRINT
6	4/27/2026	REVISED ALL SHEETS

PROFESSIONAL STAMPS

FOR REVIEW ONLY
NOT FOR PERMIT OR
CONSTRUCTION

SHEET INFORMATION

Issued
06/24/25
Scale
AS NOTED

Project Status
Design
Civil Revision Number
0

Down by
ACL
Checked by
ALL

Drawing Title
Legend & Notes

WOM
C002

Drawing Number

DESIGN LINETYPE LEGEND

PROPOSED PROJECT LIMIT LINE	PROPOSED ALIGNMENT CENTERLINE	PROPOSED DITCH	PROPOSED SILTFENCE	PROPOSED EASEMENTS	PROPOSED BARB WIRE FENCE	PROPOSED CHAIN LINK FENCE	PROPOSED STOCKADE FENCE	PROPOSED STONE WALL	PROPOSED PARCEL LINE	PROPOSED PARCEL SETBACK	PROPOSED RAILROAD TRACKS	PROPOSED ROADWAY GUIDERAIL	PROPOSED WATERBODY EDGE	PROPOSED WETLAND	PROPOSED OVERHEAD CABLE TV	PROPOSED OVERHEAD ELECTRIC	PROPOSED OVERHEAD TELEPHONE	PROPOSED UNDERGROUND CABLE TV	PROPOSED UNDERGROUND ELECTRIC	PROPOSED UNDERGROUND FUEL SYSTEMS	PROPOSED UNDERGROUND NATURAG GAS	PROPOSED UNDERGROUND SANITARY SEWER	PROPOSED UNDERGROUND SANITARY FORCE MAIN	PROPOSED UNDERGROUND STEAM TRANSMISSION	PROPOSED UNDERGROUND STORM SEWER	PROPOSED UNDERGROUND TELEPHONE	PROPOSED UNDERGROUND WATER SUPPLY
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SURVEY SYMBOL LEGEND

BASKETBALL HOOP	OUT ANCHOR POLE	DECIDUOUS SHRUB	EXISTING DITCH
BOULDER	GAS VALVE	EVERGREEN SHRUB	EXISTING EASEMENTS
BENCHMARK	HAND HOLE	SPROUT	EXISTING FENCE
BURNING	IRON PIN	STUMP	EXISTING STONE WALL
CATCH BASIN SQUARE	LIGHT POLE 1	TELEPHONE BOX	EXISTING PARCEL LINE
CATCH BASIN ROUND	LIGHT POLE 2	TELEPHONE MANHOLE	EXISTING PARCEL SETBACK
CLEAROUT	LAMP POST	DECIDUOUS TREE	EXISTING RAILROAD TRACKS
CLUB STOP	MAL BOX	CONIFEROUS TREE	EXISTING ROADWAY CENTERLINE
CATV BOX	MONUMENT	TEST PIT	EXISTING ROADWAY GUIDERAIL
DROP INLET	PULL BOX	UTILITY BOX	EXISTING CONTOUR MAJOR
DRILL HOLE	PEDESTRIAN SIGNAL POLE	WELL	EXISTING CONTOUR MINOR
DRY HOBWART	POST	WETLAND FLAG	EXISTING WATERBODY EDGE
ELECTRIC BOX	UTILITY POLE	WATER METER	EXISTING WETLAND
ELECTRIC MANHOLE	SANITARY MANHOLE	WATER MANHOLE	EXISTING OVERHEAD CABLE TV
FLARED END SECTION	SANITARY VALVE	WOOD POST SQUARE	EXISTING OVERHEAD ELECTRIC
FIBER OPTIC BOX	SATELLITE DISH	WOOD POST ROUND	EXISTING OVERHEAD TELEPHONE
FILL CAP	SIGN POST	WATER WALL	EXISTING UNDERGROUND CABLE TV
FLAGPOLE	DOUBLE SIGN POST	YARD INLET SQUARE	EXISTING UNDERGROUND ELECTRIC
GAS METER	SIGN DOUBLE POST	YARD INLET ROUND	EXISTING UNDERGROUND FUEL SYSTEMS
OUT ANCHOR WIRE	STREET SIGN (4-WAY)	MONITOR WELL	EXISTING UNDERGROUND NATURAL GAS

SURVEY LINETYPE LEGEND

EXISTING DITCH	EXISTING EASEMENTS	EXISTING FENCE	EXISTING STONE WALL	EXISTING PARCEL LINE	EXISTING PARCEL SETBACK	EXISTING RAILROAD TRACKS	EXISTING ROADWAY CENTERLINE	EXISTING ROADWAY GUIDERAIL	EXISTING CONTOUR MAJOR	EXISTING CONTOUR MINOR	EXISTING WATERBODY EDGE	EXISTING WETLAND	EXISTING OVERHEAD CABLE TV	EXISTING OVERHEAD ELECTRIC	EXISTING OVERHEAD TELEPHONE	EXISTING UNDERGROUND CABLE TV	EXISTING UNDERGROUND ELECTRIC	EXISTING UNDERGROUND FUEL SYSTEMS	EXISTING UNDERGROUND NATURAL GAS	EXISTING UNDERGROUND SANITARY SEWER	EXISTING UNDERGROUND SANITARY FORCE MAIN	EXISTING UNDERGROUND STEAM TRANSMISSION	EXISTING UNDERGROUND STORM SEWER	EXISTING UNDERGROUND TELEPHONE	EXISTING UNDERGROUND WATER SUPPLY	ABANDONED UNDERGROUND CABLE TV	ABANDONED UNDERGROUND ELECTRIC	ABANDONED UNDERGROUND FUEL SYSTEMS	ABANDONED UNDERGROUND NATURAL GAS	ABANDONED UNDERGROUND SANITARY SEWER	ABANDONED UNDERGROUND SANITARY FORCE MAIN	ABANDONED UNDERGROUND STORM SEWER	ABANDONED UNDERGROUND TELEPHONE	ABANDONED UNDERGROUND WATER SUPPLY
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EXISTING CONDITION NOTES

- THE LOCATION OF UNDERGROUND UTILITIES HEREON ARE BASED ON THE OBSERVED EVIDENCE OF ABOVEGROUND APPEARANCES ONLY. PROVIDED TO THE SURVEYOR BY VARIOUS PUBLIC ENTITIES AND SUB TERRAIN MARK OUT PERFORMED BY EACH UTILITY COMPANY. THE SURVEYOR HAS NOT BEEN PROVIDED WITH UNDERGROUND PLANS TO DETERMINE THE LOCATION OF SUB TERRAIN USES.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7207, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
- ONLY COPIES OF THE ORIGINAL OF THIS SURVEY MAP MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- IT IS HEREBY CERTIFIED THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.
- CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, LENDING INSTITUTION AND THE GOVERNMENTAL AGENCY LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NON TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- SURVEYED AS PER MAPS AND DEEDS OF RECORD AND AS IN INDICATED POSSESSION ON OR BEFORE JULY 12, 2021.
- THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF AN ABSTRACT OF TITLE REPORT AND IS SUBJECT TO WHATEVER STATE OF FACTS SUCH A REPORT MAY REVEAL.
- NO DIRECTIONAL REFERENCE TO SCENIC VIEWS HAS BEEN IDENTIFIED.
- NO EXISTING EASEMENTS, RIGHTS-OF-WAY, COVENANTS, OR DEED RESTRICTIONS HAVE BEEN IDENTIFIED ON OR ADJACENT TO THE SUBJECT PROPERTY.
- NO ENVIRONMENTAL ELEMENTS SUCH AS WATERCOURSES, WETLANDS, WOODED AREAS, ROCK OUTCROPS, OR ISOLATED TREES WERE OBSERVED WITHIN OR ADJACENT TO THE SUBJECT PROPERTY.
- SITE IS NOT SUBJECT TO THE FEMA 100-YEAR FLOODPLAIN.

SOIL EROSION & SEDIMENT CONTROL NOTES

- THIS PLAN IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND THE NYS DEC SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY PERMIT NO. GP-0-25-001 SHALL BE USED TO MINIMIZE SOIL EROSION DURING THE COURSE OF CONSTRUCTION.
- ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (2016), (REFERRED TO IN REMAINING TEXT AS "THE NEW YORK GUIDELINES").
- ANY DISTURBED AREA THAT WILL BE LEFT UNDISTURBED FOR MORE THAN 21 DAYS, AND ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL BE SEEDED AND MULCHED WITHIN 14 DAYS OF THE LAST DISTURBANCE WITH TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL. THE SEEDING SHALL BE DONE IN ACCORDANCE WITH THE NEW YORK GUIDELINES, AS FOLLOWS:
A) SEED: ANNUAL RYE GRASS APPLIED AT A RATE OF 30 LBS./ACRE OTHER SELECT MIXTURE AS DESCRIBED IN THE NEW YORK GUIDELINES.
IF: FRING, SUMMER OR EARLY FALL SEED WITH RYE GRASS (ANNUAL OR PERENNIAL) AT 30 LBS. PER ACRE.
IF: LATE FALL OR EARLY WINTER SEED WITH CERTIFIED "ARUOSTOOK" WINTER RYE, AT 100 LBS. (CEREAL RYE) PER ACRE.
B) MULCH: OLD HAY OR SMALL GRAIN STRAW APPLIED AT A RATE OF NINETY (90) POUNDS PER ONE THOUSAND SQUARE FT. OR TWO TONS PER ACRE, TO BE APPLIED AND ANCHORED ACCORDING TO THE NEW YORK GUIDELINES. WOODFIBER HYDROMULEN OR OTHER SPRAYABLE PRODUCTS APPROVED FOR EROSION CONTROL (NYLON WEB OR MESH) MAY BE USED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
C) ANY GRADED AREAS NOT SUBJECT TO FURTHER DISTURBANCE OR CONSTRUCTION TRAFFIC SHALL, WITHIN FIVE (5) DAYS AFTER FINAL GRADING, RECEIVE PERMANENT VEGETATIVE COVER IN COMBINATION WITH A SUITABLE MULCH AS FOLLOWS:
A) STEEP OR EROSION PRONE AREAS GREATER THAN 2" (H:V) REFER TO PERMANENT CRITICAL AREA PLANTING NOTES.
B) RECREATIONAL AREAS AND LAWN REFER TO RECREATIONAL AREA IMPROVEMENT NOTES.
- SLOPES STEEPER THAN THREE ON ONE (H:V) SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
- PAVED ROADWAYS SHALL BE KEPT CLEAR AND CLEAN OF DEBRIS AT ALL TIMES.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION OR SEDIMENT CONTROL FACILITIES, EXCEPT FOR MINOR PERIMETER EMBANKMENT AREAS. ALL GRADE AREA SHALL BE DIRECTED THROUGH ONE OF THE SEDIMENT BARRIERS. DIVERSION SWALES MAY BE USED TO DIRECT DRAINAGE RUNOFF UNTIL PERMANENT STORM DRAINAGE SYSTEM IS IN PLACE.
- DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS.
- THE BASE OF ALL STOCKPILES SHALL BE PROTECTED BY A COMBINATION OF SILT FENCE AND A HAY BALE BARRIER IN ACCORDANCE WITH THE DETAIL.
- SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED BY THE TRAINED CONTRACTOR ON A DAILY BASIS TO ENSURE THAT TEMPORARY AND PERMANENT DITCHES, PIPES AND STRUCTURES ARE CLEAR OF DEBRIS, THAT EMBANKMENTS AND BERMS ARE NOT BREACHED, AND THAT ALL BARRIERS ARE INTACT.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL FINAL ACCEPTANCE OF THE SITE WORK BY THE OWNER. UPON CERTIFICATION OF FINAL ACCEPTANCE, THE OWNER WILL ASSUME RESPONSIBILITY FOR THE CONTINUED MAINTENANCE OR PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.
- THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES.

PERMANENT SEEDING:

ALL AREAS NOT SPECIFIED WITH GRAVEL, CONCRETE OR ASPHALT COVER IS TO BE SEEDDED WITH A PERMANENT SEED MIXTURE IN ACCORDANCE WITH THE FOLLOWING:
SEEDING:
A) SHALL BE DONE BETWEEN MARCH 15 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1, EXCEPT OTHERWISE APPROVED IN WRITING BY THE ENGINEER.

FERTILIZER:

A) COMMERCIAL (5-10-5) INORGANIC, OR ORGANIC, CONTAINING NOT LESS THAN 5 PERCENT NITROGEN, 10 PERCENT AVAILABLE PHOSPHORIC ACID AND 5 PERCENT WATER SOLUBLE POTASH.
B) OTHER FERTILIZERS WITH A 1-2-1 RATIO SUCH AS 10-20-10 OR 6-12-6 MAY BE SUBSTITUTED FOR ABOVE.
C) APPLY 5-10-5 EVENLY AT A RATE OF 40 POUNDS PER 1000 SQ. FT. OR 2 POUNDS OF NITROGEN PER 1000 SQ. FT.

MULCH:

A) OLD HAY OR SMALL GRAIN STRAW APPLIED AT A RATE OF NINETY (90) POUNDS PER ONE THOUSAND SQUARE FT. OR TWO TONS PER ACRE. WOODFIBER HYDROMULEN OR OTHER SPRAYABLE PRODUCTS APPROVED FOR EROSION CONTROL (NYLON WEB OR MESH) MAY BE USED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

SEED:

A) APPLICATION RATE:
1.) STANDARD MIXTURE: 3 POUNDS PER 1000 SQ. FT.
2.) SPECIAL MIXTURE: 5 POUNDS PER 1000 SQ. FT.
B) HYDROSEEDING:
1.) APPLY SEEDING MATERIALS BY AN APPROVED HYDROSEEDER.
2.) DISTRIBUTE SEEDING MIXTURE OF WATER, SEED, FERTILIZER, AND MULCH AT A MINIMUM RATE OF 57 GALLONS PER 1000 SQ. FT.
C) DRY APPLICATION:
1.) SOW SEED EVENLY BY HAND OR SEED SPREADER ON DRY OR MODERATELY DRY SOIL.
D) PROVIDE THE FOLLOWING SEED MIXTURE:

AMOUNT BY WEIGHT IN MIXTURE	SPECIES	PERCENTAGE	
		PURITY	GERMINATION
55% MIN	KENTUCKY BLUEGRASS	95%	80%
25% MIN	RED FESCUE	97%	80%
20% MIN	PERENNIAL RYE	98%	85%

GENERAL CONSTRUCTION NOTES

- LOCATION OF EXISTING SITE UTILITIES ARE BASED ON INFORMATION PROVIDED BY OWNER AND ARE FOR ILLUSTRATIVE PURPOSES ONLY. OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE UTILITIES SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MARK OUT OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR SHALL CONTACT "DIG SAFELY NEW YORK" PRIOR TO COMMENCING CONSTRUCTION. 1-800-962-7962
- THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURES, ABOVE GROUND STRUCTURES AND/OR UTILITIES BELIEVED TO EXIST IN THE WORKING AREA, EXACT LOCATIONS OF WHICH MAY VARY FROM THE LOCATIONS INDICATED. IN PARTICULAR, THE CONTRACTOR IS WARNED THAT THE EXACT OR EVEN APPROXIMATE LOCATIONS OF SUCH PIPELINES, SUBSURFACE STRUCTURES AND/OR UTILITIES IN THE AREA MAY BE SHOWN OR MAY NOT BE SHOWN; AND IT SHALL BE HIS (THE CONTRACTOR'S) RESPONSIBILITY TO PROCEED WITH GREAT CARE IN EXECUTING ANY WORK. NO WARRANTY IS MADE OR IMPLIED REGARDING THE EXACT LOCATION OF UNDERGROUND STRUCTURES AND/OR UTILITIES.
- PRIOR TO THE INSTALLATION OF ALL NEW EQUIPMENT AND APPURTENANCES, THE CONTRACTOR IS DIRECTED TO LOCATE EXISTING STRUCTURES, PIPELINES OR EQUIPMENT TO ASCERTAIN IF SAID ITEM IS IN CONFLICT OR CONTRADICTION TO THE INTENT OF THE CONTRACT PLANS OR SPECIFICATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLANS, SPECIFICATIONS AND CONTRACT DOCUMENTATION TO THOROUGHLY FAMILIARIZE HIMSELF/HERSELF WITH THE FULL SCOPE AND INTENT OF THE WORK.
- THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED APPROVAL OF THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE FIELD LAYOUT OF ALL IMPROVEMENTS.
- THE CONTRACTOR SHALL PROTECT ALL PROPERTY LINE MONUMENTATION. ANY MONUMENT DISTURBED OR DESTROYED SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE BY A NEW YORK STATE LICENSED LAND SURVEYOR.
- EXPLORATORY EXCAVATIONS SHALL BE PERFORMED BY THE CONTRACTOR, AT HIS OWN EXPENSE AND AS NEEDED, TO VERIFY EXISTING SUBSURFACE CONDITIONS.
- ALL EXCAVATION AND ANY REQUIRED SHEETING, SHORING OR BRACING SHALL BE CONDUCTED IN FULL CONFORMANCE WITH THE LATEST REVISIONS OF THE NEW YORK STATE INDUSTRIAL CODE RULE 23 AND OSHA REGULATIONS FOR CONSTRUCTION. SHEETING SHALL BE DESIGNED AND SEALED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN, AT ALL TIMES, FULL ACCESS TO ALL ROADWAYS AND DRIVEWAYS IN AND AROUND THE SITE.
- THE CONTRACTOR SHALL NOT STOCKPILE ANY MATERIALS OR CAUSE ANY MATERIALS TO BE PLACED ON ANY DRIVEWAY OR PARKING AREAS THROUGHOUT THE SITE THAT IS NOT DESIGNATED AS A STAGING AREA.
- CONTRACTOR IS TO GRADE ALL DISTURBED AREAS ON THE SITE TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.

GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 (29 U.S.C. 651 ET SEQ.), AS AMENDED AND ANY MODIFICATIONS OR REGULATIONS THEREOF TO SAME.
- THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION ONLY OF ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
- CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT IN WRITING PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.
- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR/TO:
A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND ALL APPLICABLE AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.
B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK.
C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
D. CONTACTING 811 DIG SAFE FOR UTILITY MARKOUT IN ADVANCE OF ANY EXCAVATION.
E. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES.
F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
G. ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICES REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
H. COORDINATING WITH OWNER REGARDING WORKING DURING NON-SCHOOL HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES, WORK REQUIRED TO BE DONE DURING THESE TIMES SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER.
I. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.
- CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SAFE AND SYSTEMATIC MANNER FOLLOWING ALL THE OSHA REQUIREMENTS TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- THE CONTRACTOR MUST PROVIDE ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN.

STANDARD NOTES WATER SYSTEMS:

- THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:
"RECOMMENDED STANDARDS FOR WATER WORKS (TEN STATES)"
"RURAL WATER SUPPLY, NEW YORK STATE DEPARTMENT OF HEALTH"
"NEW YORK STATE DEPARTMENT OF HEALTH AND COLUMBIA COUNTY DEPARTMENT OF HEALTH POLICIES, PROCEDURES AND STANDARDS"
"COLUMBIA COUNTY DEPARTMENT OF HEALTH SANITARY CODE, ARTICLE XI AND ARTICLE V"
"COLUMBIA COUNTY DEPARTMENT OF HEALTH CERTIFICATE OF APPROVAL"
2) THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES AND ARRANGEMENT OF SEWAGE DISPOSAL AND TREATMENT AND WATER SUPPLY FACILITIES."
3) "UPON COMPLETION OF THE FACILITIES, THE FINISHED WORKS SHALL BE INSPECTED, TESTED, AND CERTIFIED COMPLETE TO THE COLUMBIA COUNTY HEALTH DEPARTMENT BY THE NEW YORK STATE LICENSED PROFESSIONAL ENGINEER SUPERVISING CONSTRUCTION. NO PART OF THE FACILITIES SHALL BE PLACED INTO SERVICE UNTIL ACCEPTED BY THE COLUMBIA COUNTY HEALTH DEPARTMENT." THE NEW WATER SUPPLY SYSTEM SHALL NOT BE PLACED INTO SERVICE UNTIL A "COMPLETED WORKS APPROVAL" IS ISSUED UNDER SECTION 5-1.22(c) OF PART 5 OF THE NEW YORK STATE SANITARY CODE (10NYCRRS).
4) "APPROVAL OF ANY PLAN(S) OR AMENDMENT THERETO SHALL BE VALID FOR A PERIOD OF FIVE(5) YEARS FROM THE DATE OF APPROVAL. UPON THE EXPIRATION OF SAID APPROVAL, THE PLAN(S) SHALL BE RESUBMITTED TO THE COMMISSIONER OF HEALTH FOR CONSIDERATION FOR RE-APPROVAL. RE-SUBMISSION OR REVISED SUBMISSION OF PLANS AND/OR ASSOCIATED DOCUMENTS SHALL BE SUBJECT TO COMPLIANCE WITH THE TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES IN EFFECT AT TIME OF THE RE-SUBMISSION."
5) ALL WATER SERVICE LINES SHALL BE PLACED A MINIMUM HORIZONTAL DISTANCE OF 10' FROM ANY EXISTING ACTIVE SEWAGE DISPOSAL SYSTEM.
6) THE NEW WATER DISTRIBUTION MAINS MAY NOT BE PLACED INTO SERVICE NOR EXISTING SERVICES BE CONNECTED TO THE NEW MAINS UNTIL A "COMPLETED WORKS APPROVAL" IS ISSUED UNDER SECTION 5-1.22(c) OF PART 5 OF THE NEW YORK STATE SANITARY CODE (10NYCRRS).
7) ALL WELLS AND SDS EXISTING OR APPROVED WITHIN 200 FEET OF THE PROPOSED WELLS AND SDS ARE SHOWN ON THIS PLAN ALONG WITH ANY OTHER ENVIRONMENTAL HAZARDS IN THE AREA THAT MAY AFFECT THE DESIGN.
8) ALL EROSION AND SEDIMENT CONTROL AND STORM WATER POLLUTION PREVENTION WATER QUALITY AND QUANTITY CONTROL STRUCTURES, PERMANENT AND TEMPORARY, ARE SHOWN ON THE PLANS.
9) DISINFECTION OF WATER MAIN SHALL COMPLY WITH SPECIFICATION SECTION 02475 AND THE TABULAR METHOD WILL NOT BE ALLOWED FOR THIS PROJECT.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION SITE SAFETY.
- THE CONTRACTOR SHALL PROVIDE BARRICADES, INCLUDING TEMPORARY FENCING TO PREVENT UNAUTHORIZED ENTRY TO CONSTRUCTION AREAS AND TO PROTECT EXISTING AND NEW FACILITIES FROM DAMAGE BY CONSTRUCTION OPERATIONS OR VANDALISM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION METHODOLOGY UNLESS OTHERWISE REQUIRED BY THESE PLANS AND SPECIFICATIONS.
- ALL EXCAVATIONS SHALL BE BACK FILLED TO FINISHED GRADE. THE WORK ZONE SHALL BE PROTECTED WITH BARRELS SPACED NO MORE THAN 25 FEET APART AT THE END OF EACH WORKDAY.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS, AND ROADSIDE FEATURES INCLUDING LAWNS, DRIVES, CULVERTS, DRAINAGE SWALES, FENCES, SIGNS, MAILBOXES AND OTHER PUBLIC OR PRIVATE PROPERTY TO ITS PRE-CONSTRUCTION CONDITION UNLESS OTHERWISE REQUIRED BY THESE PLANS AND/OR SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATION DEWATERING AND MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF CONSTRUCTION.
- DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN A DETAILED SET OF RECORDED DRAWINGS INDICATING THE EXACT LOCATIONS, INCLUDING ELEVATIONS, OF ALL IMPROVEMENTS. A MINIMUM OF TWO (2) THE DISTANCES TO PROMINENT FEATURES SHALL BE PROVIDED TO ALL NEW STRUCTURES, CHANGES IN PIPE ALIGNMENT (HORIZONTAL AND VERTICAL) AND OTHER PERTINENT FEATURES TO PERMIT THE LOCATION OF ANY BURIED COMPONENTS. UPON COMPLETION OF CONSTRUCTION, THESE PLANS SHALL BE PROVIDED TO THE PROJECT ENGINEER. THE CONTRACTOR SHALL PROVIDE ANY CORRECTIONS OR ADDITIONAL DATA, AS MAY BE REQUIRED, TO THE SATISFACTION OF THE OWNER AND PROJECT ENGINEER. FINAL APPROVAL OF THESE RECORD PLANS BY THE OWNER AND THE PROJECT ENGINEER WILL BE A REQUIREMENT PRIOR TO THE RELEASE OF FINAL PAYMENT.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL AS REQUIRED TO PREVENT SOIL EROSION AND SEDIMENTATION, AT NO ADDITIONAL COST TO THE OWNER.
- EROSION CONTROL MEASURES SHALL BE REMOVED AND THE DISTURBED AREAS RESTORED TO THEIR PRE-CONSTRUCTION CONDITION WHEN SUCH MEASURES ARE NO LONGER REQUIRED.
- THE CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN AND SHRUBS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.
- CONTRACTOR SHALL RE-ESTABLISH ALL EXISTING DRAINAGE DITCHES/ SWALES INCLUDING STABILIZATION TO MAINTAIN EXISTING FLOW PATTERNS.
- ALL TREE REMOVAL TO BE PERFORMED DURING THE TIME PERIOD OF NOVEMBER 1ST THROUGH MARCH 31ST. ALL CLEARING OUTSIDE THAT TIME FRAME WILL REQUIRE INSPECTION BY A CERTIFIED BIOLOGIST AND APPROVAL FROM THE NYSDEC.
- IF ANY BATS ARE OBSERVED FLYING FROM A TREE, OR ON A TREE THAT HAS BEEN CUT, TREE MANAGEMENT ACTIVITIES IN THE AREA SHOULD BE SUSPENDED AND DEC WILDLIFE STAFF NOTIFIED AS SOON AS POSSIBLE. A PERMIT MAY BE REQUIRED TO CONTINUE WORK, OR YOU MAY HAVE TO WAIT UNTIL NOVEMBER 1 TO RESUME ACTIVITIES.

CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIR MUST INCLUDE THE RESTORATION OF ANY ITEMS REPAIRED TO THE PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR SHALL PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.

THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.

CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS, AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE IN THE GEOTECHNICAL REPORT (CREATED BY OTHERS). BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND MUST BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE.

BLASTING OR THE USE OF EXPLOSIVES IS PROHIBITED.

CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY.

CONTRACTOR MUST CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.

DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION.

THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATION. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.

CONTRACTOR IS RESPONSIBLE TO SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.

CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY, WHICH INCLUDES, BUT NOT BE LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY.

THE DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION AS TO THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.

DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR MUST MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES, TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST.

CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS UPON WHICH IT INDICATES THE LOCATION OF EXISTING UTILITIES AND SERVICES TO BE REMOVED, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OVER TO THE OWNER UPON COMPLETION OF THE WORK.

PRESSURE - LEAKAGE TESTING WATER MAIN PIPE:

- TESTING SHALL BE CONDUCTED BETWEEN EACH VALVED SECTION AND TESTING THROUGH VALVES WILL NOT BE PERMITTED.
- GENERAL: ALL PIPING SHALL BE TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF AWWA C600-05, EXCEPT AS ADDED OR AMENDED BELOW:
1. THE CONTRACTOR SHALL FURNISH LABOR MATERIALS AND EQUIPMENT NECESSARY FOR ANY AND ALL REQUIRED PIPE TAPS FOR TESTING, AND AS NECESSARY FOR TESTING AS SPECIFIED. EQUIPMENT WILL BE SUCH THAT THE ENGINEER MAY INSTALL HIS OWN PRESSURE GAUGE.
2. A PRESSURE PIPE WORKING PRESSURE TEST AND LEAKAGE TEST ARE REQUIRED FOR ALL PIPE.
3. TESTING TO BE PERFORMED ONLY AFTER COMPLETE BACK FILL AND RESTRAINT BLOCKING, USING HIGH EARLY CEMENT, HAS HAD 34 HOURS TO CURE OR BLOCKING USING STANDARD PORTLAND CEMENT HAS HAD 71 DAYS TO CURE.
4. THE MAIN SHALL BE BACK FILLED OR BRACED AGAIN MOVEMENT DURING THE TEST. ALL AIR MUST BE BLEED OUT OF THE SECTION TO BE TESTED. IF NECESSARY, CONTRACTOR SHALL INSTALL COPPERATION STOPS AT THE HIGH POINTS, FOR BLOW-OFFS. AFTER ALL AIR HAS BEEN EXPELLED, THE COPPERATION COCKS SHALL BE CLOSED AND THE PRESSURE TEST APPLIED. EXPOSED PARTS SHALL BE EXAMINED AGAIN AFTER TESTING.
5. FOR DUCTILE IRON WATER MAIN, PERFORM PRESSURE TESTING AT 50% ABOVE THE NORMAL OPERATING PRESSURE OF THE SYSTEM AND IN NO CASE LESS THAN 150 PSI FOR A DURATION OF AT LEAST 2 HOURS. FOR HDPE WATER MAIN, PERFORM PRESSURE TESTING AT 50% ABOVE THE NORMAL OPERATING PRESSURE OR AT THE MAXIMUM PIPE WORKING PRESSURE (P1), AND IN NO CASE LESS THAN 150 PSI FOR A DURATION OF AT LEAST 2 HOURS. PRESSURE SHALL NOT VARY BY PLUS OR MINUS FIVE (5) PSI.
6. ALLOWABLE SYSTEM LEAKAGE AS SPECIFIED IN THE REFERENCED STANDARDS. IF LEAKAGE IN SYSTEM IS GREATER THAN ALLOWABLE, CONTRACTOR WILL LOCATE AND REPAIR SYSTEM AT HIS EXPENSE AND RETEST. CONTINUE TO TEST AND REPAIR THE SYSTEM UNTIL LEAKAGE IS WITHIN ACCEPTABLE LIMITS.
7. NO PIPE INSTALLATION WILL BE PERMITTED IF THE LEAKAGE IS GREATER THAN THAT DETERMINED BY THE FOLLOWING FORMULA:
$$L = \frac{SD}{100,000} \times 2 \text{ hrs.}$$

WHERE:
L = LEAKAGE IN GALLONS PER HOUR
S = LENGTH OF PIPE TESTED, IN FEET
D = NOMINAL DIAMETER OF PIPE IN INCHES
P = AVERAGE TEST PRESSURE DURING LEAKAGE TEST, IN PSI (GAUGE)

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Date last plotted: 4/28/2024 10:03 AM
Date last accessed: 4/27/2024 5:44 PM
Plotted By: Chilton Moore



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**Hudson River
Housing, Inc.**

PROJECT INFORMATION

Project Number
15066.00

Client Name
HUDSON RIVER HOUSING

Project Name
WINDOWS ON MAIN

Project Address
488 MAIN STREET POUGHKEEPSIE, NY 12601

PROJECT ISSUE & REVISION SCHEDULE

No.	Date	Description
1	8/13/2025	REVISED ALL SHEETS
2	8/20/2025	REVISED SITE PLAN
3	9/10/2025	REVISED SITE PLAN
4	11/11/2025	CITY OF POUGHKEEPSIE REVIEW COMMENTS ON 10/28/25
5	12/02/2025	REVISIONS TO WORKING AND BUILDING FOOTPRINT
6	4/27/2026	REVISED ALL SHEETS

PROFESSIONAL STAMPS

**FOR REVIEW ONLY
NOT FOR PERMIT OR
CONSTRUCTION**

NEW YORK STATE EDUCATION STATUTE
I, the undersigned, being a duly licensed Architect under the Education Law and the Commissioner's Regulations and being duly sworn, depose and say that I am the author of the design and drawings hereon shown, and that I am a duly licensed Architect under the Education Law and the Commissioner's Regulations; and I declare under penalty of perjury that the foregoing is true and correct. Executed on this 11th day of November, 2025.

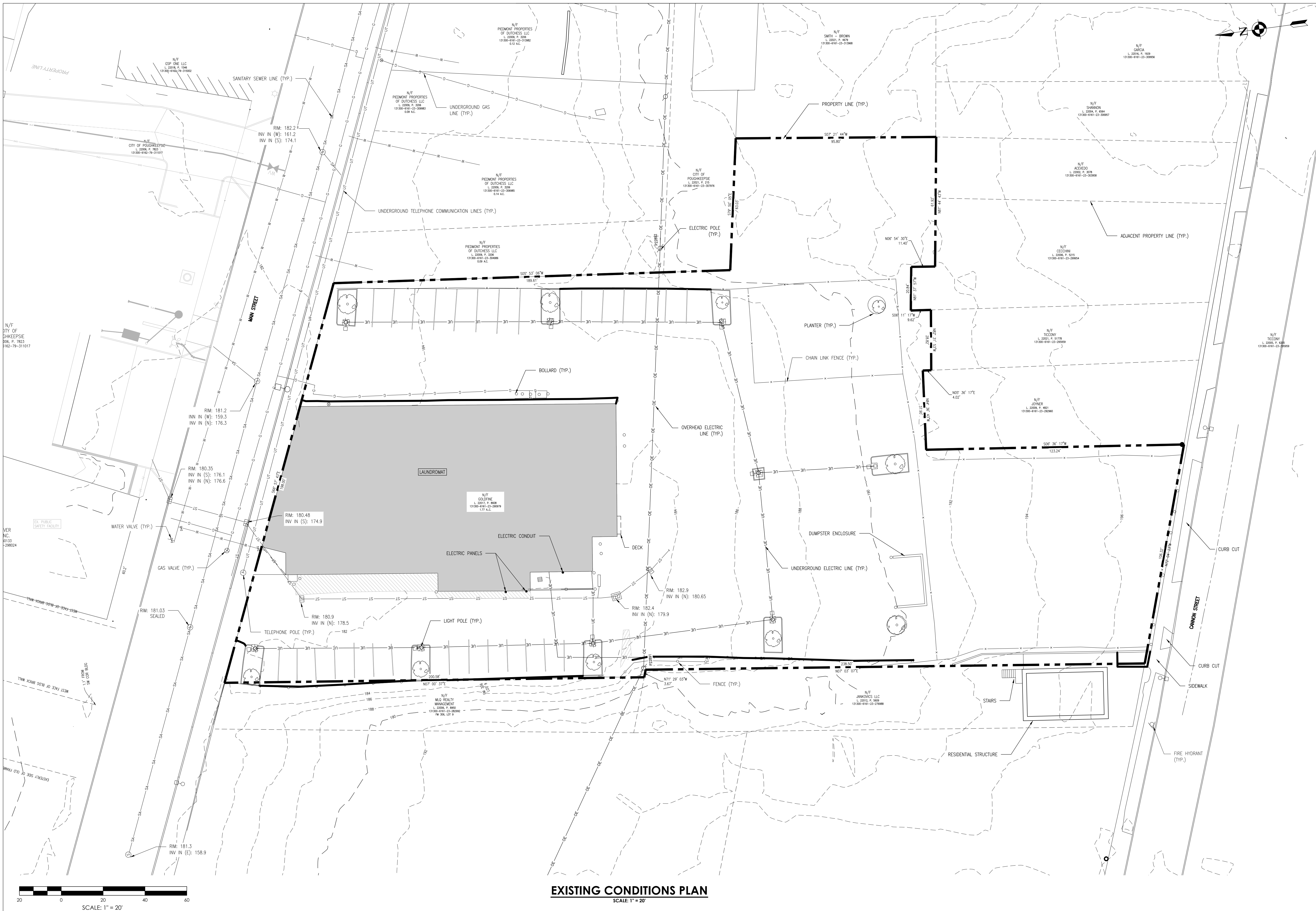
SHEET INFORMATION

Issued	Scale
06/24/25	AS NOTED
Project Status	City Revision Number
DESIGN	0
Drawn By	Checked By
KRS, ACL	ALL
Drawing Title	

EXISTING CONDITIONS PLAN

Drawing Number

**WOM
C100**



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 Date last accessed: 4/28/2026 10:01 AM
 Date last plotted: 4/28/2026 10:04 AM
 Plotted By: Christian Moore
 VER: 01/33/2026
 208604



PROJECT INFORMATION

Project Number
15066.00
Client Name
HUDSON RIVER HOUSING

Project Name
WINDOWS ON MAIN

Project Address
488 MAIN STREET POUGHKEEPSIE, NY 12601

PROJECT ISSUE & REVISION SCHEDULE

No.	Date	Description
1	8/13/2025	REVISED ALL SHEETS
2	8/20/2025	REVISED SITE PLAN
3	9/10/2025	REVISED SITE PLAN
4	11/11/2025	CITY OF POUGHKEEPSIE REVIEW COMMENTS ON 10/28/25
5	12/02/2025	REVISING TO WORKING AND BUILDING FOOTPRINT
6	4/27/2026	REVISED ALL SHEETS

PROFESSIONAL STAMPS

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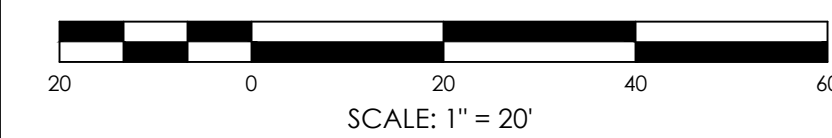
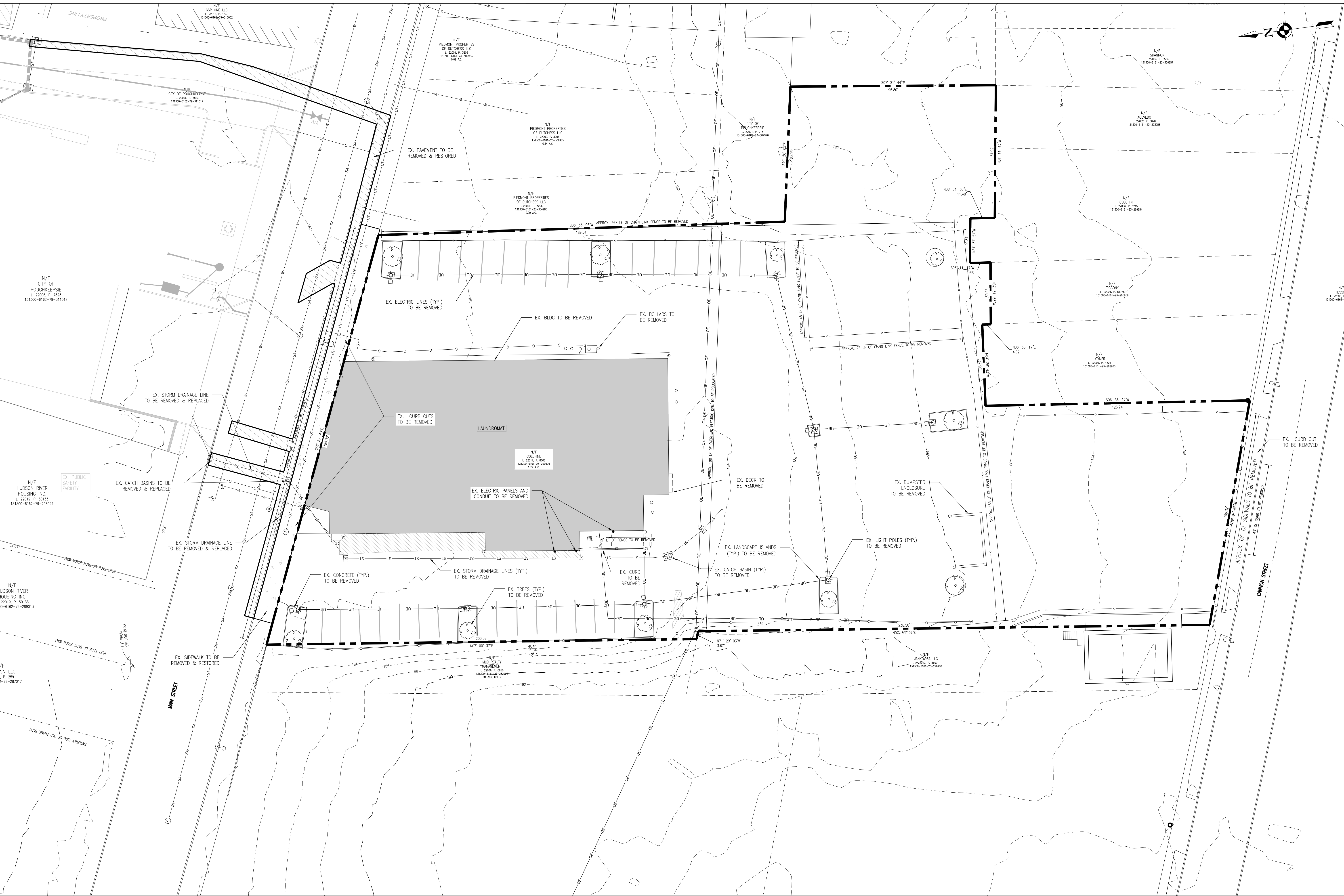
NEW YORK STATE EDUCATION STATEMENT
I, the undersigned, being a duly licensed Architect under the Education Law and the Commissioner's Regulations, hereby certify that I am the author of the above-described work, or that I am a duly licensed Architect who has designed and supervised the execution of the same, and that I am a duly licensed Architect who has designed and supervised the execution of the same, and that I am a duly licensed Architect who has designed and supervised the execution of the same.

SHEET INFORMATION

Issued	06/24/25	Scale	AS NOTED
Project Status	DESIGN	Civil Revision Number	0
Drawn By	ACL	Checked By	ALL

Drawing Title
DEMOLITION AND REMOVALS
PLAN

Drawing Number
WOM
C101



DEMOLITION AND REMOVALS PLAN

SCALE: 1" = 20'

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Date last accessed: 4/27/2026 3:17 PM
Date last plotted: 4/28/2026 10:04 AM
Plotted By: Christian Moore



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PROJECT INFORMATION

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15066.00
Client Name
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Project Name
WINDOWS ON MAIN

Project Address
488 MAIN STREET POUGHKEEPSIE, NY 12601

PROJECT ISSUE & REVISION SCHEDULE

No.	Date	Description
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PROFESSIONAL STAMPS

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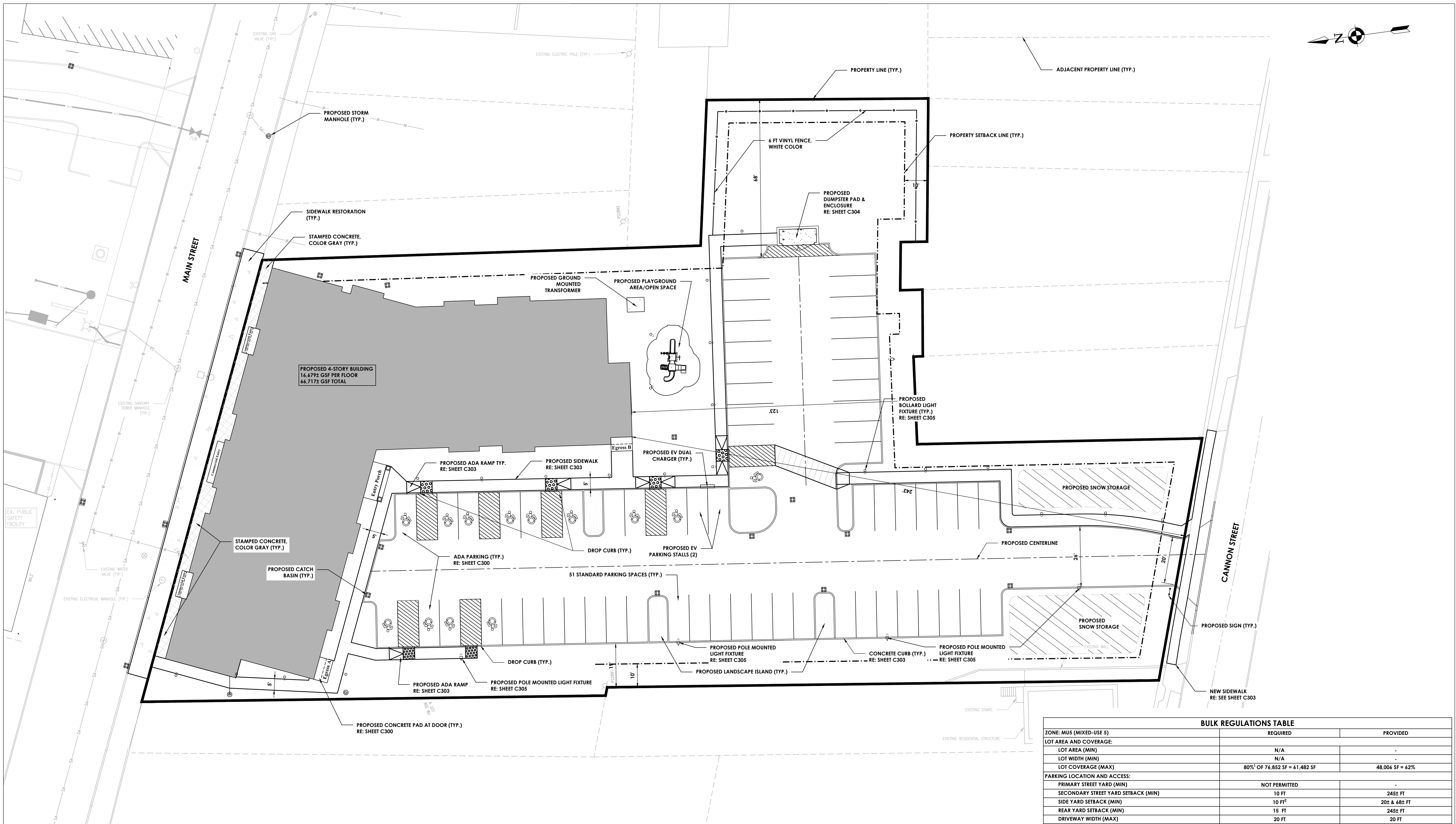
NEW YORK STATE EDUCATION STATEMENT
I, A MEMBER OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONERS
REGULATORY BOARD, HEREBY CERTIFY THAT I AM A LICENSED ARCHITECT OR ENGINEER
AS SET FORTH IN THE STATE EDUCATION LAW AND THE COMMISSIONERS REGULATORY BOARD
REGULATIONS AND I AM NOT PROVIDING ARCHITECTURAL OR ENGINEERING SERVICES TO ANY
PERSON OR ENTITY OTHER THAN THE CLIENT AS SET FORTH IN THE STATE EDUCATION LAW AND
THE COMMISSIONERS REGULATORY BOARD REGULATIONS AND I AM NOT PROVIDING SUCH
SERVICES TO ANY OTHER PERSON OR ENTITY WITHOUT THE WRITTEN CONSENT OF THE
COMMISSIONERS REGULATORY BOARD AND THE DATE OF SUCH CONSENT AND A SPECIFIC DESCRIPTION OF
THE CONSENT.

SHEET INFORMATION

Issued	Scale
06/24/25	AS NOTED
Project Status	City Review Number
DESIGN	0
Drawn By	Checked By
KRS, ACL	ALL
Drawing Title	

SITE PLAN

Drawing Number
WOM
C200



SITE PLAN
SCALE: 1" = 20'

USE	REQUIREMENT	QUANTITY	TOTAL	PROVIDED
RESIDENTIAL	1.25 SPC / UNIT	61 UNITS	77	
OFFICE / RETAIL	1 SPC / 300 SF	5,083 SF	17	
TOTAL			94	64

PARKING SPACE BREAKDOWN
64 PARKING SPACES TOTAL
• 13 ADA SPACES
• 2 FUTURE BV SPACES*
• ALL SPACES 9' X 20'
ONE 15' X 45' LOADING BERTH FOR DELIVERIES
(*1 OVERLAP WITH ADA SPACE)

ZONE: MUS (MIXED-USE 5)	REQUIRED	PROVIDED
LOT AREA AND COVERAGE:		
LOT AREA (MIN)	N/A	-
LOT WIDTH (MIN)	N/A	-
LOT COVERAGE (MAX)	80% OF 76,852 SF = 61,482 SF	48,004 SF = 62%
PARKING LOCATION AND ACCESS:		
PRIMARY STREET YARD (MIN)	NOT PERMITTED	-
SECONDARY STREET YARD SETBACK (MIN)	10 FT	245± FT
SIDE YARD SETBACK (MIN)	10 FT ²	20± & 68± FT
REAR YARD SETBACK (MIN)	15 FT	245± FT
DRIVEWAY WIDTH (MAX)	20 FT	20 FT
PRIMARY STRUCTURE SETBACKS:		
PRIMARY STREET SETBACK (MIN/MAX)	0 / 15 FT	3± FT
BUILD-TO FRONTAGE (MIN)	60% OF 198 FT = 119 FT	175 FT = 88%
SECONDARY STREET SETBACK (MIN/MAX)	0 / 15 FT	N/A
BUILD-TO FRONTAGE (MIN)	40% OF 191 FT = 76 FT	N/A
SIDE SETBACK (MIN)	0 FT	3± & 9± FT
ABUTTING A RESIDENTIAL LOT LINE	15 FT	-
REAR SETBACK (MIN)	15 FT	123± FT
ABUTTING A RESIDENTIAL LOT LINE	15 FT	-
HEIGHT:		
BASE	5 STORIES / 48 FT	4 STORIES / 48 FT
BONUS	SECTION 19-6.7	-
10% AFFORDABLE UNITS	7 STORIES / 94 FT	-
MINIMUM	2 STORIES / 29 FT	4 STORIES / 48 FT
STEP-BACK DEPTH AFTER 5 STORIES (MIN)	5 FT	-
WIDTH:		
PRIMARY STREET FACING BUILDING (MAX)	225 FT	175 FT
STORY HEIGHT	14 FT	14 FT
ENTRANCE:		
DISTANCE BETWEEN STREET-FACING ENTRANCES (MAX)	50 FT	40± FT
TRANSPARENCY:		
GROUND STORY (MIN)	50%	
UPPER STORY (MIN)	25%	
¹ INCLUDES ALL IMPERVIOUS SURFACES.		
² SIDE YARD PARKING SHALL BE SETBACK AT LEAST 5 FEET FROM THE FRONT OF THE PRINCIPAL BUILDING ON THE SAME LOT.		

- SITE PLAN NOTES:**
- INSTALL NEW IRON REBAR MONUMENTS FOR ALL NEW OR EXISTING PROPERTY CORNERS ALONG THE RIGHT-OF-WAY.

- BASE MAP NOTES:**
- PARCEL BOUNDARY MAPPING SHOWN HEREON IS BASED ON A SURVEY PREPARED BY CPL ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY MAP" PREPARED FOR HUDSON RIVER HOUSING, INC., DATED DEC 1ST, 2022. THE CONTOUR INTERVAL SHOWN HEREON IS 2' BASED ON NEW YORK STATE PLANE EAST ZONE, NAD 83, NAVD 88.

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Date last accessed: 4/28/2026 10:01 AM
Date last plotted: 4/28/2026 10:05 AM
Plotted By: Christian Moore



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PROJECT INFORMATION

Project Number
 15066.00

Client Name
 HUDSON RIVER HOUSING

Project Name
 WINDOWS ON MAIN

Project Address
 488 MAIN STREET POUGHKEEPSIE, NY 12601

PROJECT ISSUE & REVISION SCHEDULE

No.	Date	Description
1	01/13/2025	REVISED ALL SHEETS
2	02/03/2025	REVISED SITE PLAN
3	07/10/2025	REVISED SITE PLAN
4	11/11/2025	CITY OF POUGHKEEPSIE REVIEW COMMENTS ON 06/08/25
5	12/02/2025	REVISIONS TO WORKING AND BUILDING FOOTPRINT
6	4/27/2026	REVISED ALL SHEETS

PROFESSIONAL STAMPS

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NEW YORK STATE EDUCATION STATEMENT
 I, the undersigned, being a duly licensed professional engineer in the State of New York, do hereby certify that the above is a true and correct copy of the original as shown to me by the applicant, and that the same conforms to the requirements of the laws and regulations of the State of New York, and that the same has been prepared by the applicant or under the direct supervision and control of the applicant, and that the applicant is a duly licensed professional engineer in the State of New York, and that the same has been prepared by the applicant or under the direct supervision and control of the applicant, and that the applicant is a duly licensed professional engineer in the State of New York, and that the same has been prepared by the applicant or under the direct supervision and control of the applicant.

SHEET INFORMATION

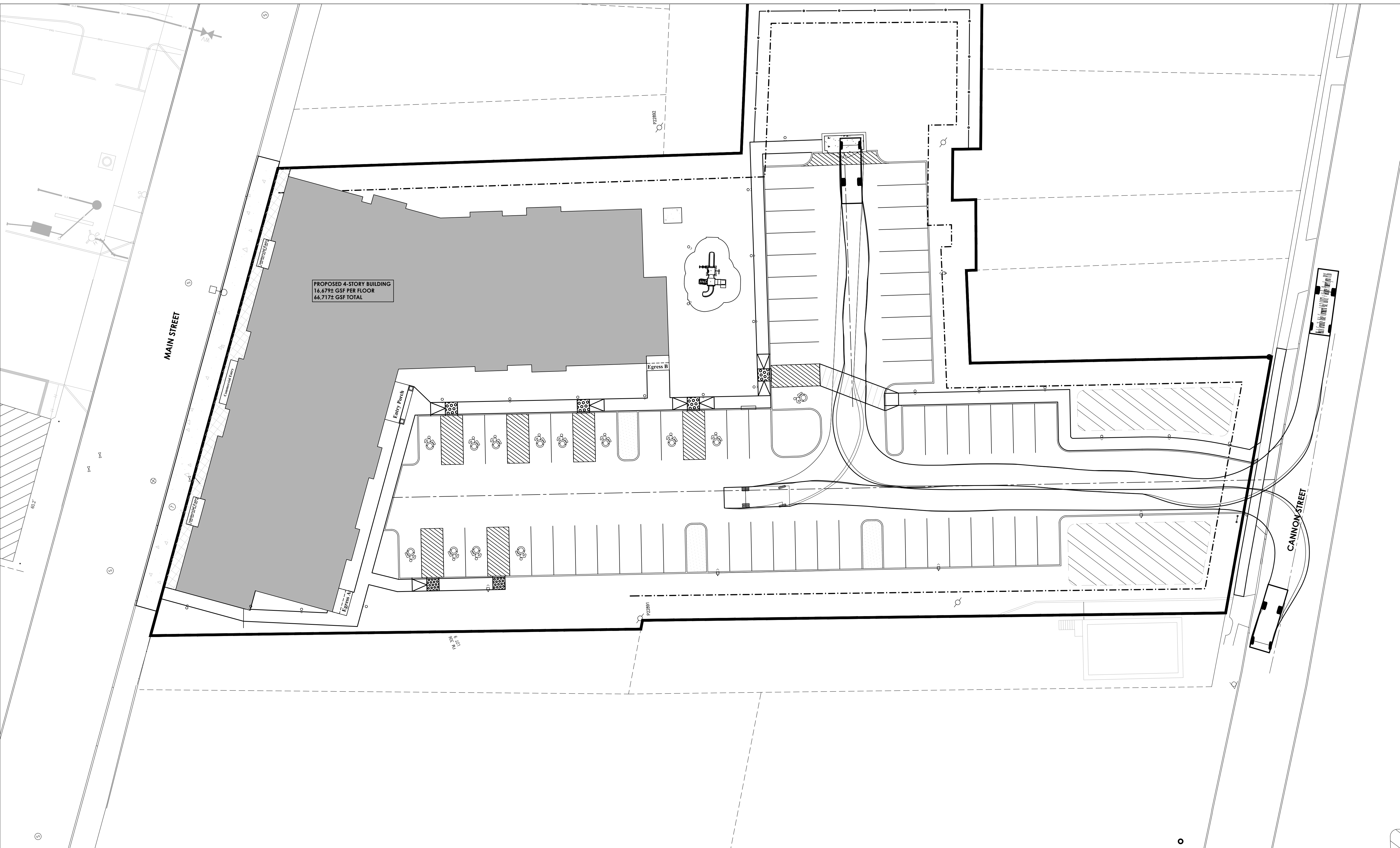
Issued
 06/24/25 AS NOTED

Project Status
 DESIGN Civil Revision Number

Drawn By
 ACL Checked By

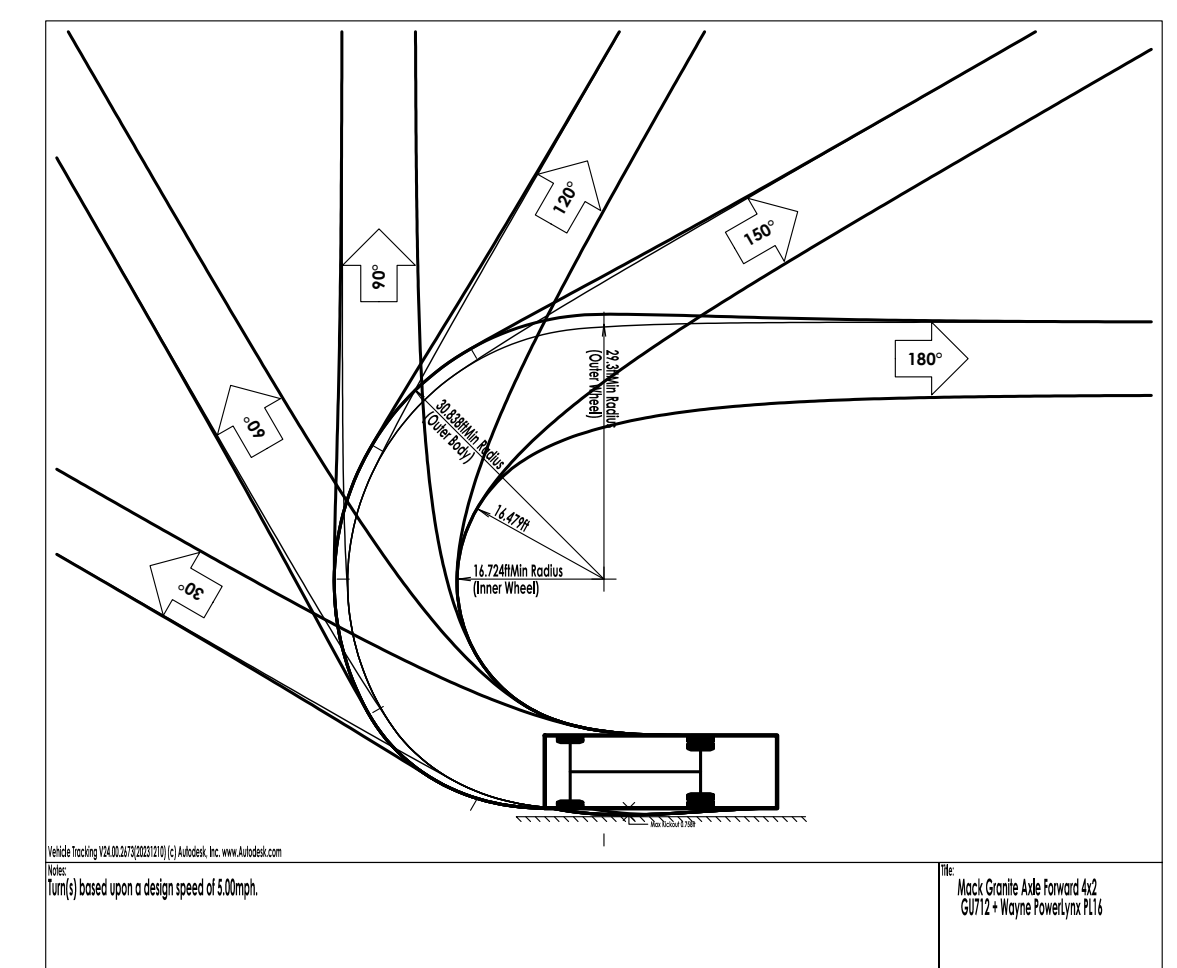
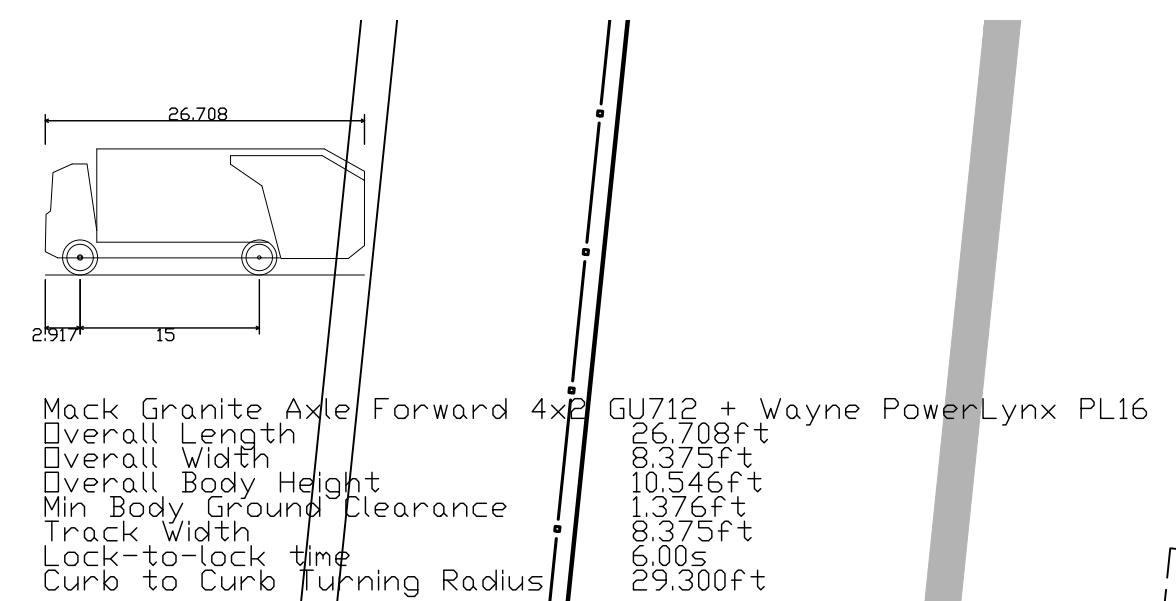
Drawing Title
 TURNING PLAN - GARBAGE TRUCK

Drawing Number
 WOM
 C201



TURNING PLAN - GARBAGE TRUCK

SCALE: 1" = 20'



Sheet Size: 24x36
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 Date last accessed: 4/28/2026 10:01 AM
 Date last plotted: 4/28/2026 10:05 AM
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PROJECT INFORMATION

Project Number
15066.00
 Client Name
HUDSON RIVER HOUSING
 Project Name
WINDOWS ON MAIN

Project Address
488 MAIN STREET POUGHKEEPSIE, NY 12601

PROJECT ISSUE & REVISION SCHEDULE

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6	4/27/2026	REVISED ALL SHEETS

PROFESSIONAL STAMPS

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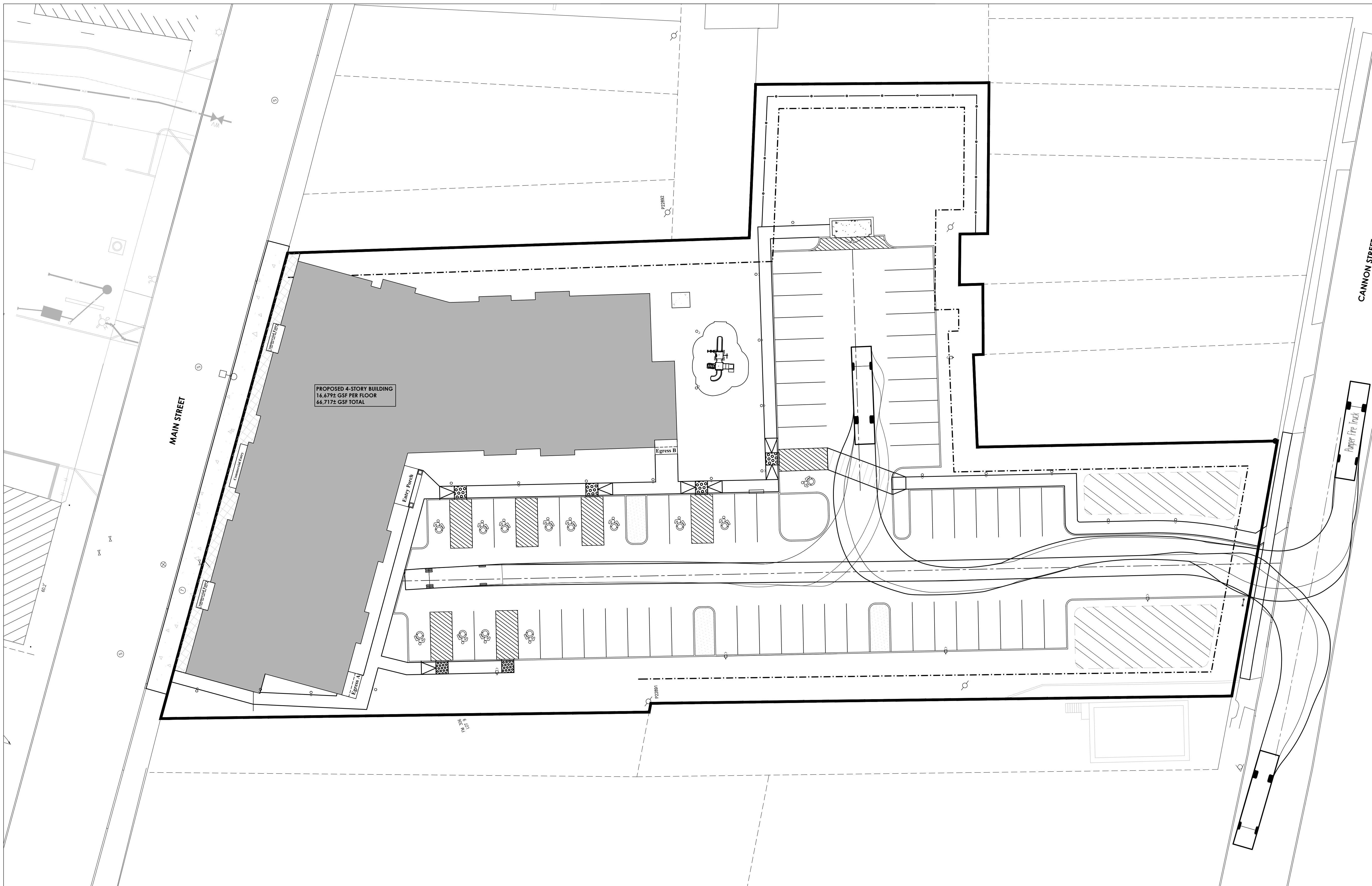
NEW YORK STATE EDUCATION STATEMENT
 I, THE UNDERSIGNED, BEING A MEMBER OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S REGULATION OF ANY PROFESSION, IN THE ACTING CAPACITY OF A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR, HAVE REVIEWED THE DRAWING AND I HEREBY CERTIFY THAT I AM A LICENSED ARCHITECT, ENGINEER OR LAND SURVEYOR IN THE STATE OF NEW YORK AND I AM BEARING THE SEAL OF AN ARCHITECT, ENGINEER OR SURVEYOR AS ALTERED. THE ALTERING, REPRODUCING, COPYING, REISSUING, REPAIRING, REPRODUCING OR OTHERWISE USING THIS DRAWING WITHOUT THE SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SHEET INFORMATION

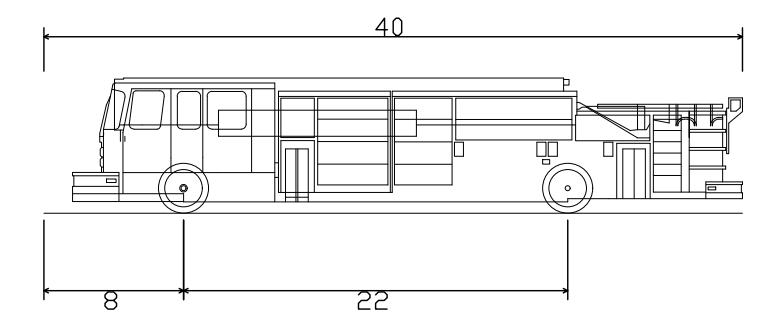
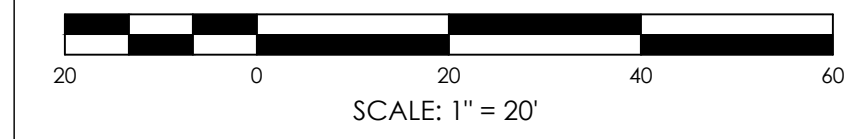
Issued
06/24/25
 Project Status
DESIGN
 Drawn By
ACL
 Drawing Title
TURNING PLAN - LADDER TRUCK

Scale
AS NOTED
 Civil Revision Number
0
 Checked By

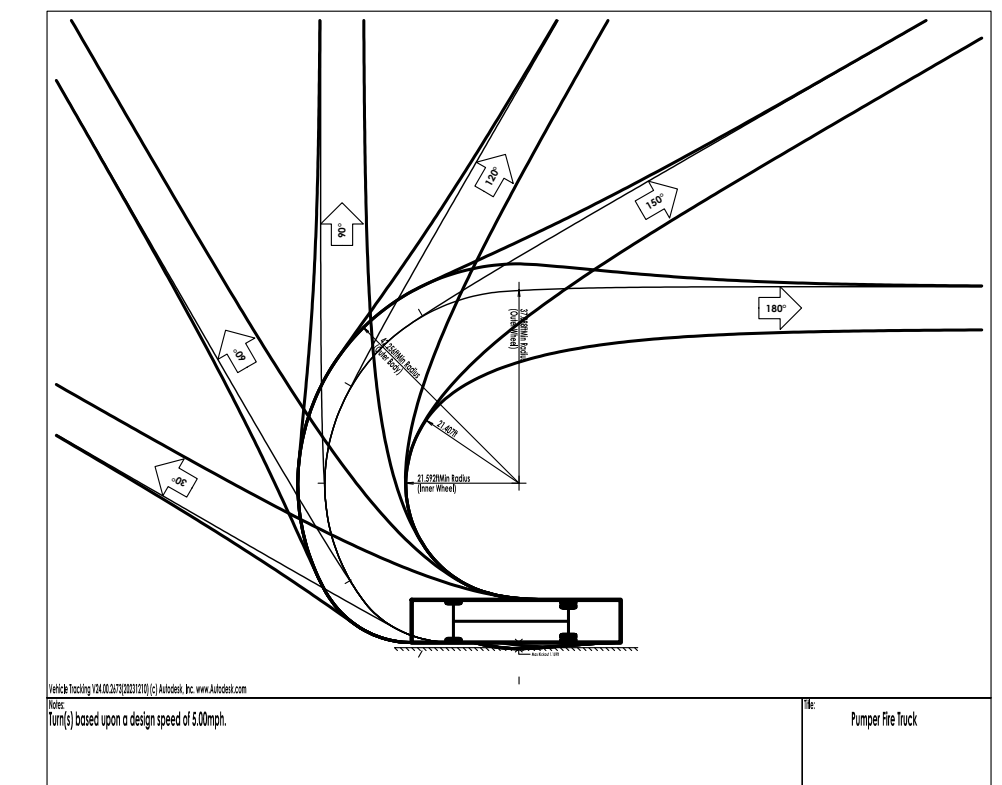
Drawing Number
**WOM
C202**



TURNING PLAN - LADDER TRUCK
 SCALE: 1" = 20'



Pumper Fire Truck	40.000ft
Overall Length	8.167ft
Overall Width	7.745ft
Overall Body Height	0.656ft
Min Body Ground Clearance	8.167ft
Track Width	5.00s
Lock-to-lock time	45.00°
Max Wheel Angle	



Sheet Size: 24x36
 Drawing Name: S:\Projects\HH Windows on Main\IDesign\WOM\C202\SITE.dwg
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 Date last plotted: 4/28/2026 10:05 AM
 Plotted By: Christian Moore

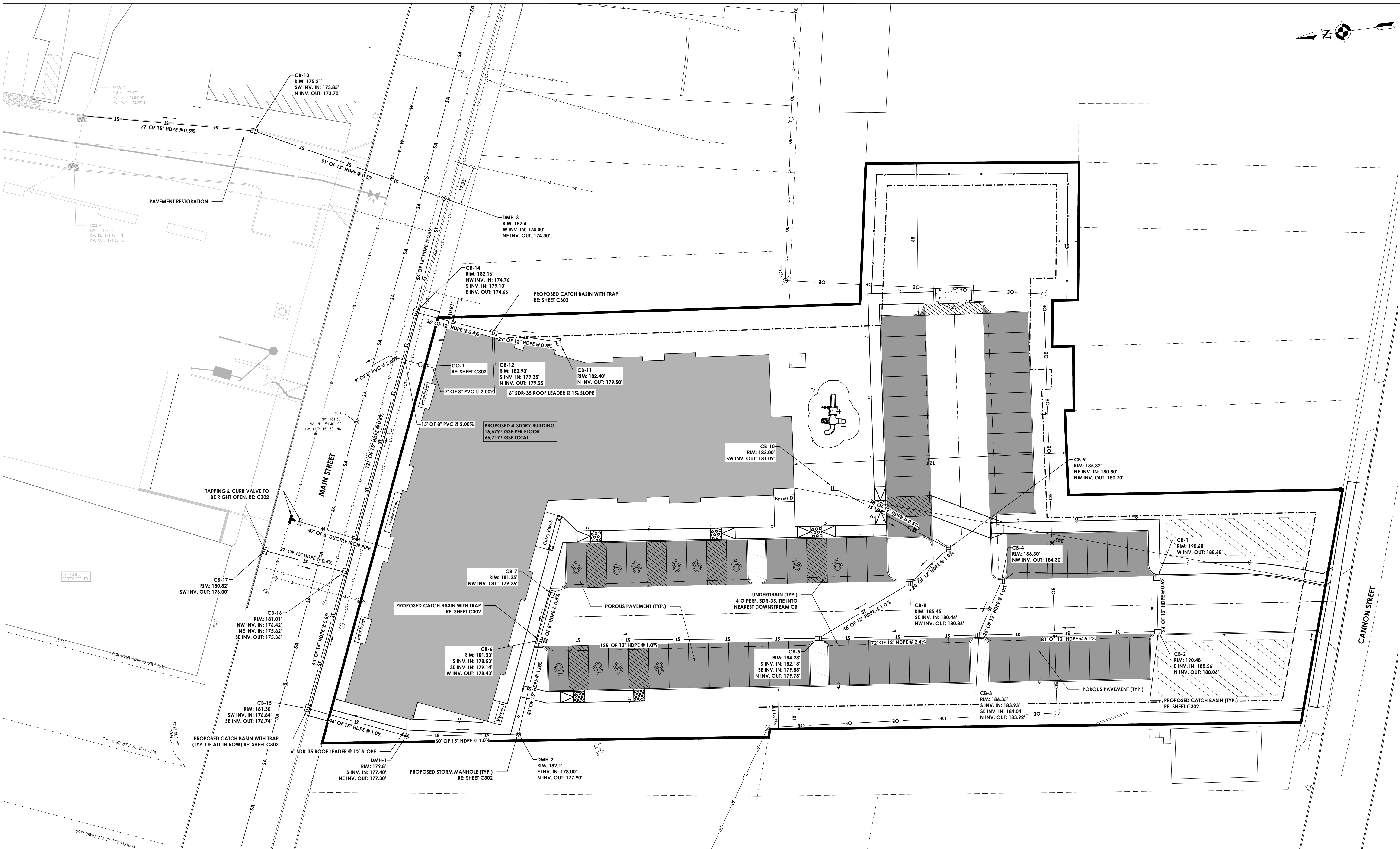


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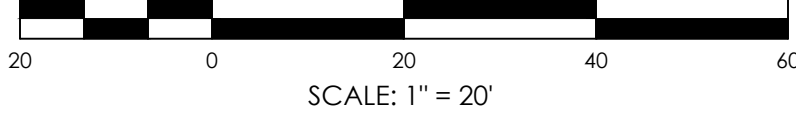
NEW YORK STATE EDUCATION STATUTE
FILE A DECLARATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S
REGULATIONS FOR ANY PROFESSIONAL ENGINEERING OR ARCHITECTURE OR A LICENSED
ARCHITECT, ENGINEER OR LAND SURVEYOR. TO OBTAIN FULL INFORMATION, SEE THE
STATUTE, REGULATIONS AND THE BOARD OF PROFESSIONAL ENGINEERS AND ARCHITECTS.
RIGHT TO PRACTICE AS A PROFESSIONAL ENGINEER OR ARCHITECT IS LIMITED TO THE STATE OF
NEW YORK AND TO THE BUSINESS AND PROFESSIONS FOR WHICH HE OR SHE IS LICENSED BY
THE BOARD AND THE DATE OF SUCH LICENSE AND A SPECIFIC DESCRIPTION OF THE
ACTIVITY.

SHEET INFORMATION

Issued	Scale
06/24/25	AS NOTED
Project Status	Civil Revision Number
DESIGN	0
Drawn By	Checked By
KRS, ACL	ALL
Drawing Title	
UTILITY PLAN	



UTILITY PLAN
SCALE: 1" = 20'



- UTILITY PLAN NOTES:**
1. MAINTENANCE RECORDS ARE TO BE PROVIDED TO THE STORMWATER MANAGEMENT OFFICER (SMO) FOR POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES (PCSMF).

Sheet Size: 24x36
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 Date last accessed: 4/28/2026 9:51 AM
 Date last plotted: 4/28/2026 10:05 AM
 Plotted By: Christian Moore



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PROJECT INFORMATION

Project Number
 15066.00

Client Name

HUDSON RIVER HOUSING

Project Name

WINDOWS ON MAIN

Project Address

488 MAIN STREET POUGHKEEPSIE,
 NY 12601

PROJECT ISSUE & REVISION SCHEDULE

No.	Date	Description
1	8/13/2025	REVISED ALL SHEETS
2	8/20/2025	REVISED SITE PLAN
3	9/10/2025	REVISED SITE PLAN
4	11/11/2025	CITY OF POUGHKEEPSIE REVIEW COMMENTS ON 10/28/25
5	12/02/2025	REVISIONS TO LIGHTING AND BUILDING FOOTPRINT
6	4/27/2026	REVISED ALL SHEETS

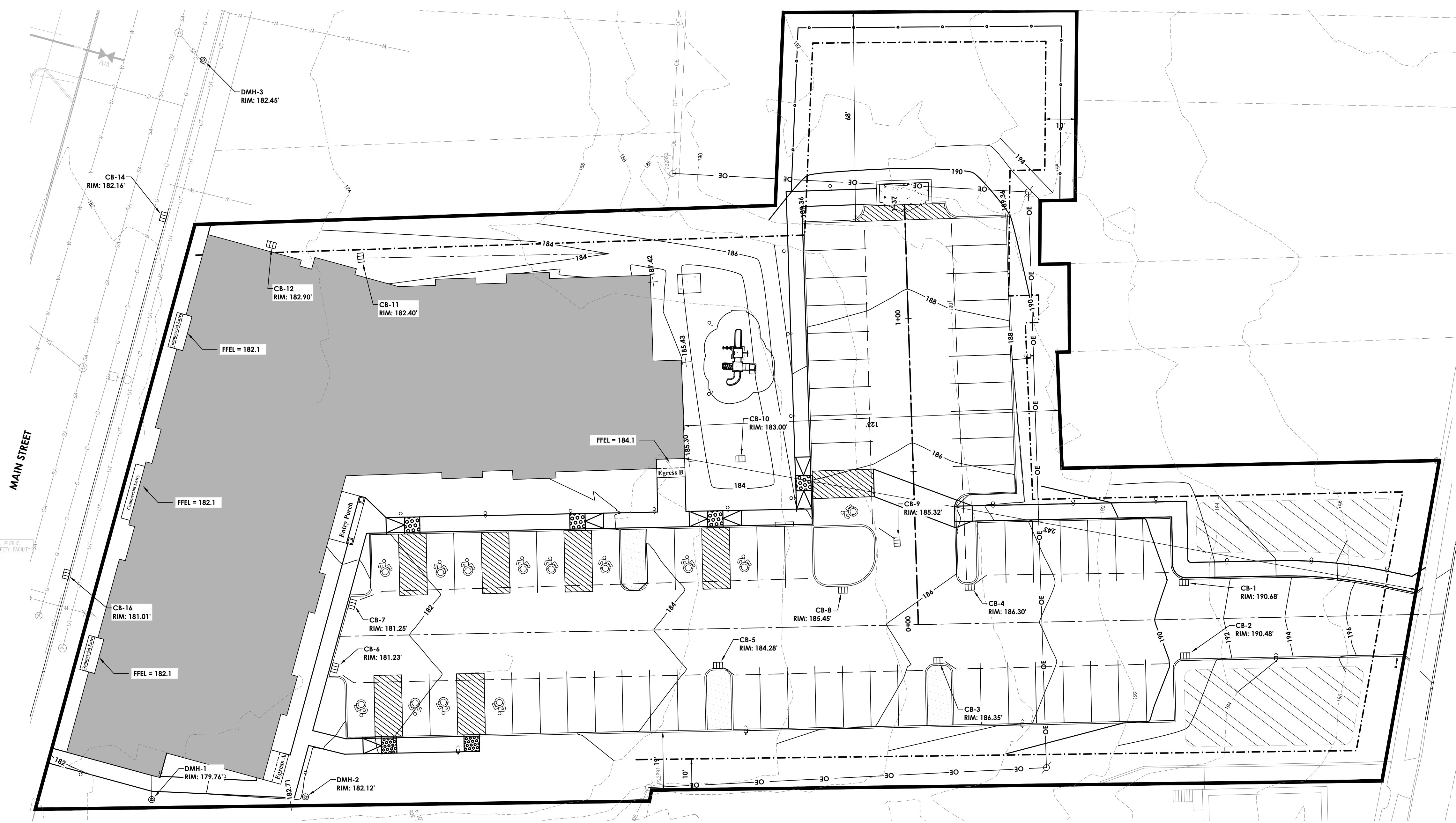
PROFESSIONAL STAMPS

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NEW YORK STATE EDUCATION STATEMENT
 I, the undersigned, being a duly licensed professional engineer in the State of New York, do hereby certify that the above is a true and correct copy of the original as filed in my office, and that the same has not been altered, amended or changed in any way since the date of such filing, and that the same is a true and correct copy of the original as filed in my office, and that the same is a true and correct copy of the original as filed in my office, and that the same is a true and correct copy of the original as filed in my office.

SHEET INFORMATION

Issued	Scale
06/24/25	AS NOTED
Project Status	Civil Revision Number
DESIGN	0
Drawn By	Checked By
KRS, ACL	ALL
Drawing Title	
GRADING PLAN	
Drawing Number	
WOM C204	



GRADING PLAN
 SCALE: 1" = 20'

Sheet Size: 24x36
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 Date last accessed: 4/28/2026 10:07 AM
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PROJECT INFORMATION

Project Number
15066.00

Client Name
HUDSON RIVER HOUSING

Project Name
WINDOWS ON MAIN

Project Address
488 MAIN STREET POUGHKEEPSIE, NY 12601

PROJECT ISSUE & REVISION SCHEDULE

No.	Date	Description
1	8/13/2025	REVISED ALL SHEETS
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PROFESSIONAL STAMPS

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SHEET INFORMATION

Issued
06/24/25

Scale
AS NOTED

Project Status
DESIGN

Project Revision Number
0

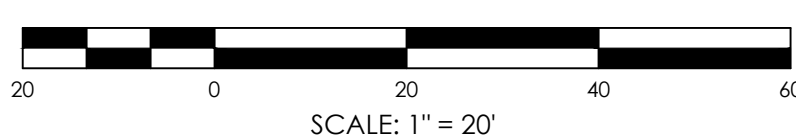
Drawn By
ACL

Checked By
ALL

Drawing Title
EROSION & SEDIMENT CONTROL PLAN

Drawing Number

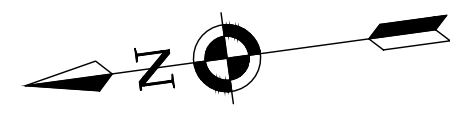
**WOM
 C205**



EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 20'

Sheet Size: 24x36
 Drawing Name: S:\Projects\HRH\Windows on Main\IDesign\ACAD\Civil\Site\WOM_C205_15066.00_ESC.dwg
 Date last accessed: 4/28/2026 10:07 AM
 Date last plotted: 4/28/2026 10:06 AM
 Plotted By: Christian Moore



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PROJECT INFORMATION

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15066.00
Client Name
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WINDOWS ON MAIN

Project Address
488 MAIN STREET POUGHKEEPSIE, NY 12601

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6	4/27/2026	REVISED ALL SHEETS

PROFESSIONAL STAMPS

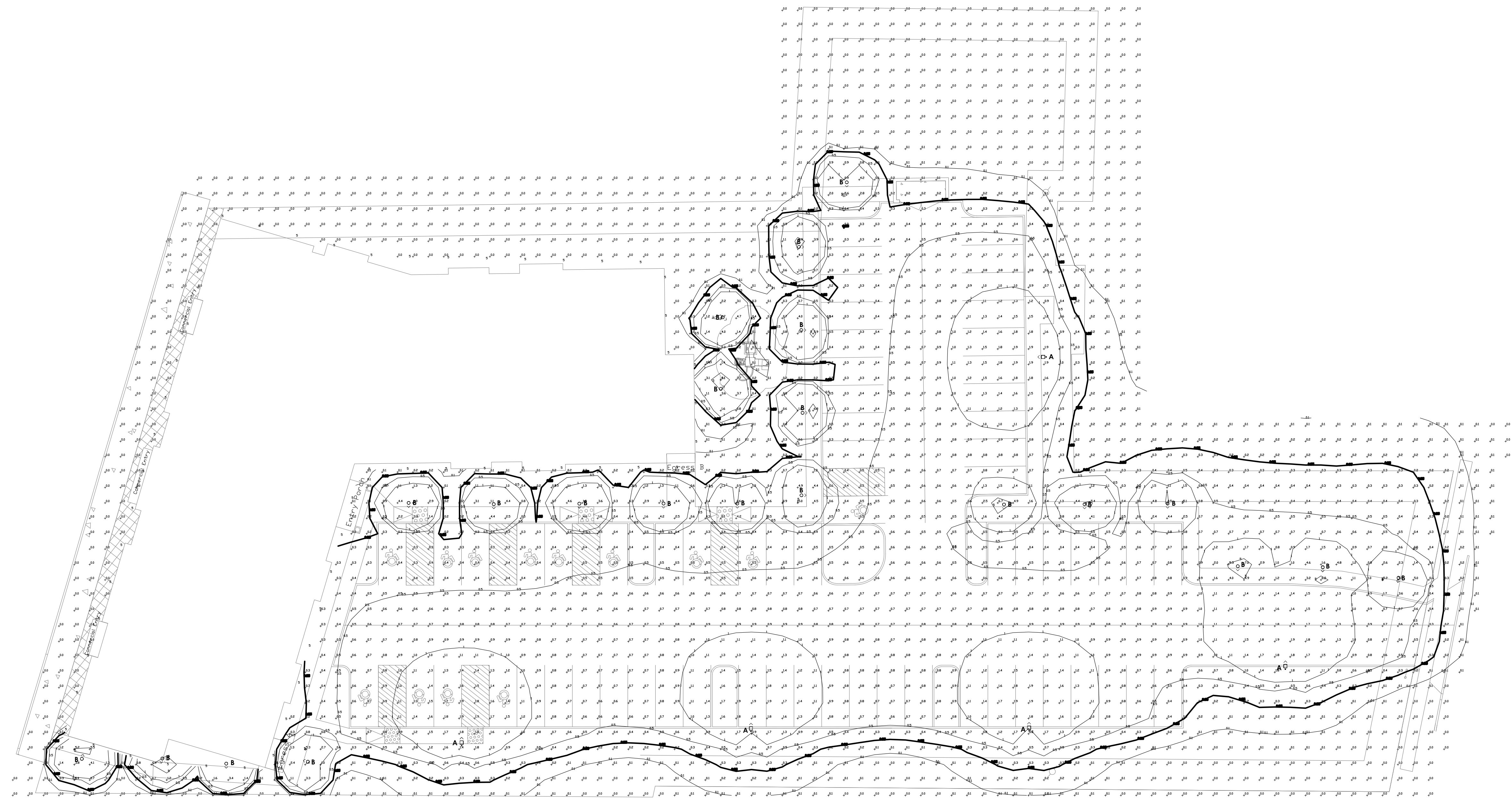
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NEW YORK STATE EDUCATION STATUTE
FILE A DECLARATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S
REGULATIONS FOR ANY PROFESSIONAL ENGINEERING OR ARCHITECTURE WORK IN ANY STATE
OR FEDERAL JURISDICTION. THE STATE OF NEW YORK HAS A PUBLIC POLICY OF PROTECTING THE
PUBLIC HEALTH, SAFETY AND WELFARE. ANY PROFESSIONAL ENGINEER OR ARCHITECT MUST
BE LICENSED BY THE STATE OF NEW YORK. ANY UNLICENSED PRACTICE IS ILLEGAL AND
PUNISHABLE BY LAW. THE STATE OF NEW YORK DOES NOT GUARANTEE THE QUALITY OF
THE SERVICES PROVIDED BY ANY PROFESSIONAL ENGINEER OR ARCHITECT. THE STATE OF
NEW YORK DOES NOT GUARANTEE THE QUALITY OF THE SERVICES PROVIDED BY ANY
PROFESSIONAL ENGINEER OR ARCHITECT. THE STATE OF NEW YORK DOES NOT
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SHEET INFORMATION

Issued	06/24/25	Scale	AS NOTED
Project Status	DESIGN	Civil Revision Number	0
Drawn By	JBT	Checked By	ARM
Drawing Title	LIGHTING PLAN		

Drawing Number
**WOM
C206**



LIGHTING PLAN
SCALE: 1" = 20'

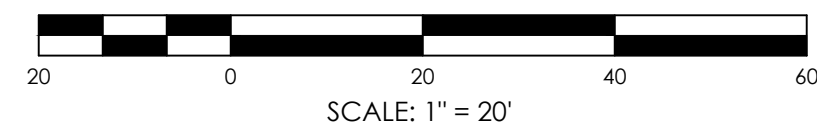
ISO LUMENS LEGEND

0.1 FOOTCANDLES
0.25 FOOTCANDLES
0.5 FOOTCANDLES
1.0 FOOTCANDLES
2.0 FOOTCANDLES
3.0 FOOTCANDLES

LUMINAIRE SCHEDULE

FIXTURE	TYPE	MODEL ¹	MOUNTING HEIGHT	COUNT
A	POLE MOUNTED	DSX1-P1-30K-70CRI-1FTM-MVOLT-SPA-PER7-EGS-DBL8XD	20 FEET	5
B	BOLLARD	KBC8-12C-350-30K-ASY-MVOLT-DBL8XD	3 FEET	22

¹ - CONTRACTOR TO SUPPLY LISTED MODEL OR APPROVED EQUAL.



Sheet Size: 24x36
Drawing Name: S:\Projects\HH Windows on Main\ID Design\ACAD\Civil\Site\WOM_C206_LIGHTING.dwg
Date last accessed: 4/28/2026 10:07 AM
Plotted By: Christian Moore
Date last plotted: 4/28/2026 10:06 AM



PROJECT INFORMATION

Project Number
 15066.00
 Client Name
 HUDSON RIVER HOUSING

Project Name
 WINDOWS ON MAIN

Project Address
 488 MAIN STREET POUGHKEEPSIE, NY 12601

PROJECT ISSUE & REVISION SCHEDULE

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PROFESSIONAL STAMPS

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 FILE A DECLARATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S
 REGULATIONS FOR ANY PERSON ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING
 ARCHITECTS: REGISTERED AND LICENSED TO PRACTICE ARCHITECTURE AS A PROFESSIONAL
 ENGINEERS: REGISTERED AND LICENSED TO PRACTICE ENGINEERING AS A PROFESSIONAL
 PLANNERS: THE SEAL OF AN ARCHITECT, ENGINEER OR PLANNER IS ALTERED, REPRODUCED,
 FALSIFIED, COPIED OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE
 BOARD OF ARCHITECTS, ENGINEERS AND PLANNERS OR THE BOARD OF PROFESSIONAL ENGINEERS
 AND SURVEYORS AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE
 ALTERATION.

SHEET INFORMATION

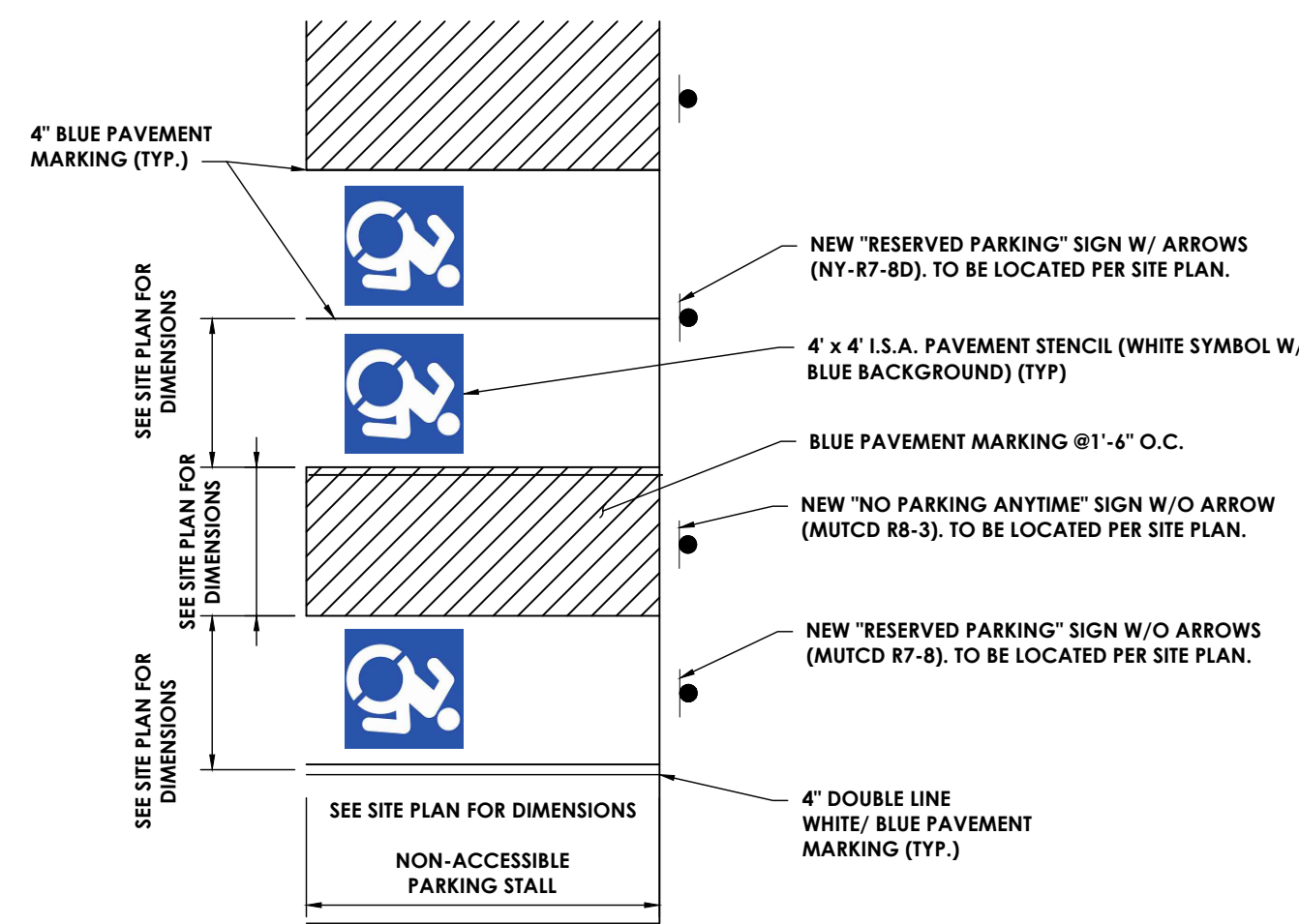
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06/24/25	AS NOTED
Project Status	Civil Revision Number
DESIGN	0
Drawn By	Checked By
ACL	ALL
Drawing Title	
DETAILS 1	

Drawing Number

**WOM
 C300**

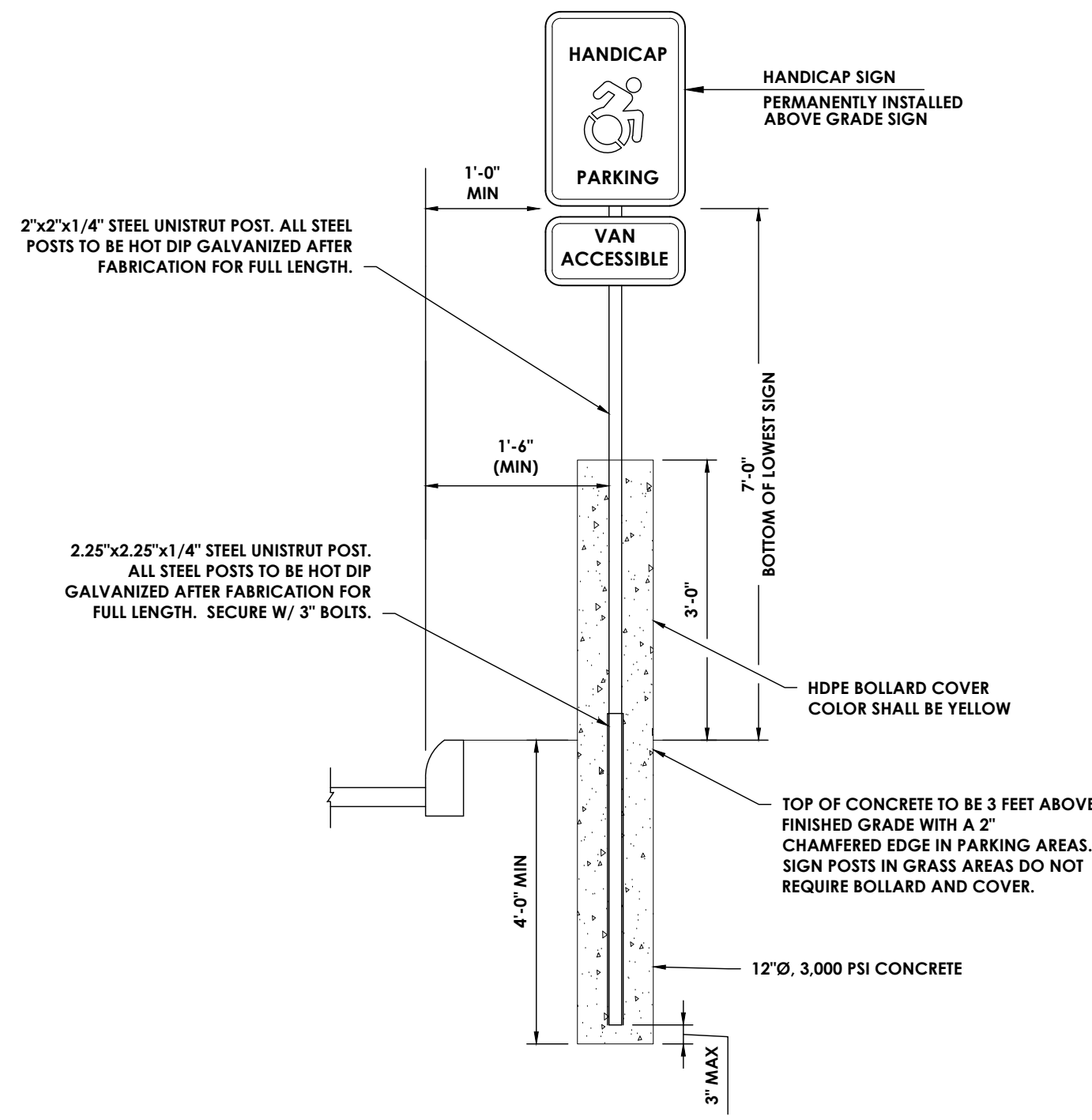
ASPHALT PAVEMENT & STRIPING NOTES:

- ALL TOP COURSE PAVEMENT AND FINAL STRIPING SHALL BE PLACED ONLY AFTER COMPLETION OF ALL SITE WORK UNLESS NOTED OTHERWISE. CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING TEMPORARY PAVEMENT MARKINGS ON TOP OF BINDER COURSE. ALL STRUCTURES, RIMS, AND GRATES SHALL BE PROTECTED WITH TEMPORARY ASPHALT BINDER.
- CONTRACTOR SHALL FIELD VERIFY IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE, THE DEPTH AND SUITABILITY OF EXISTING GRANULAR MATERIAL FOR REUSE AS GRANULAR MATERIAL IN PROPOSED ASPHALT SECTIONS. OWNER'S REPRESENTATIVE DETERMINATION SHALL BE FINAL AND BINDING.
- ALL ASPHALT PAVING SHALL MEET THE LINES AND GRADES AS SHOWN ON THE CONTRACT PLANS.



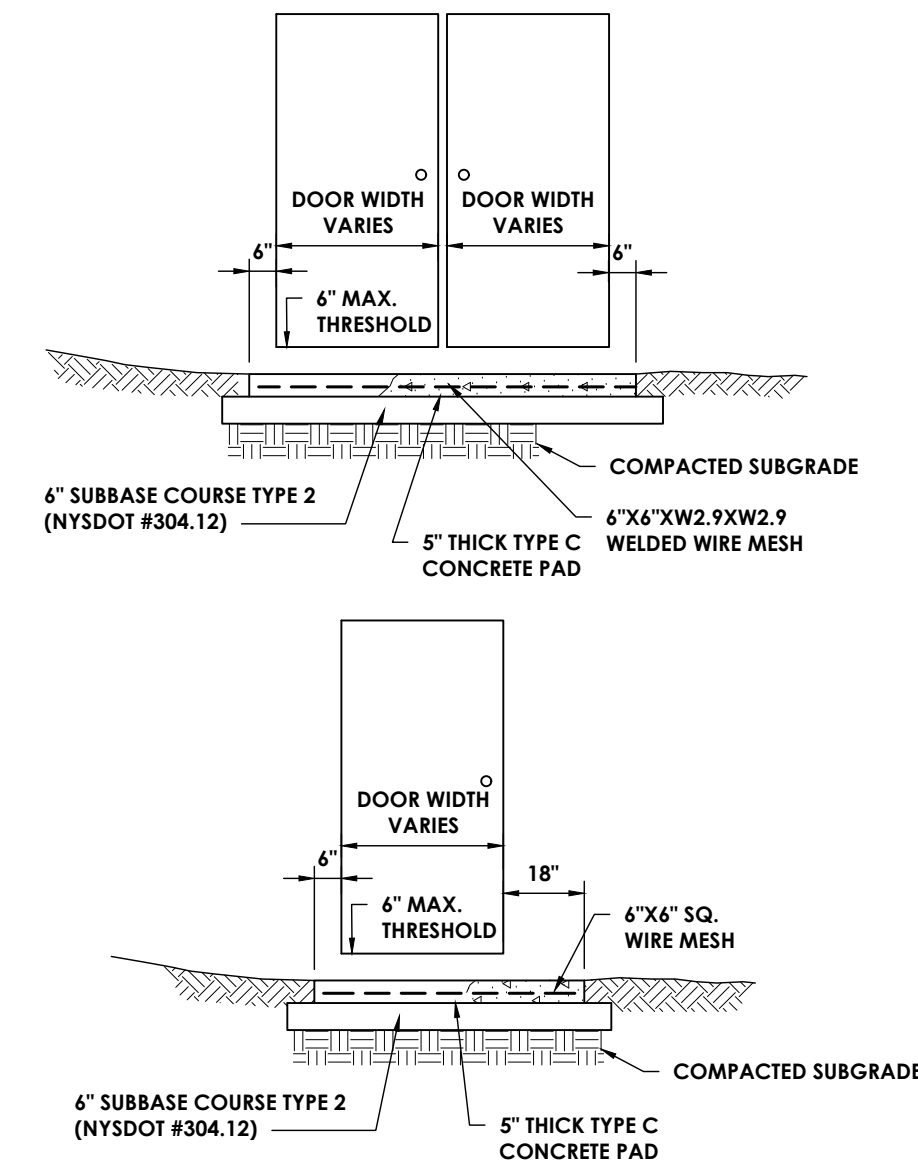
TYPICAL ACCESSIBLE PARKING STRIPING

N.T.S.



TYPICAL ADA PARKING SIGN & POST

N.T.S.

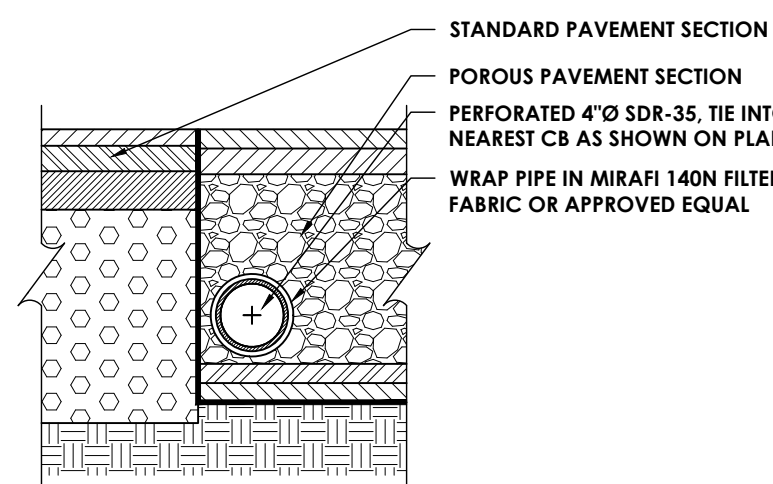


NOTES:

- CONCRETE SLAB SHALL PROJECT 5'-0" OUT FROM BUILDING FACE.
- MIN. 1% SLOPE DOWN AWAY FROM BUILDING.

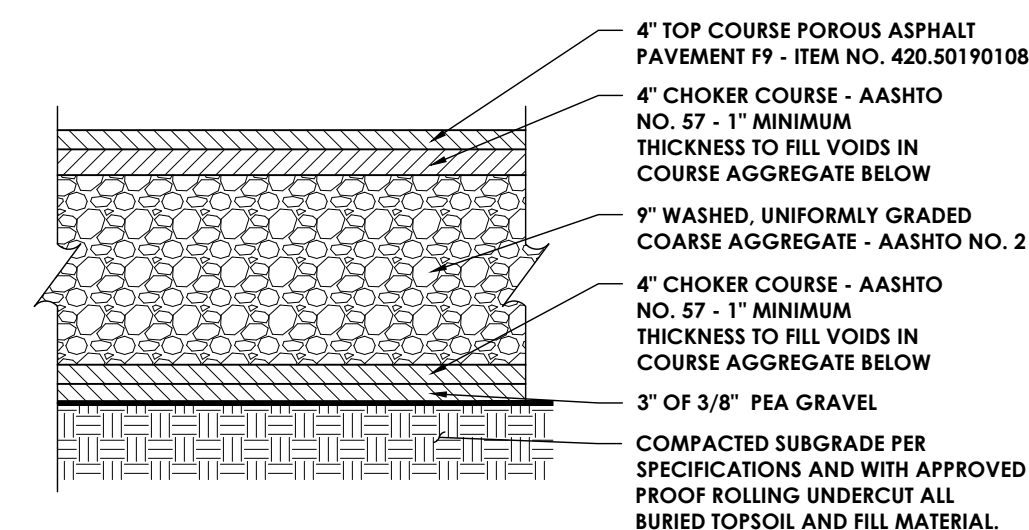
CONCRETE PAD AT DOOR

N.T.S.



POROUS PAVEMENT UNDERDRAIN

N.T.S.



POROUS PAVEMENT SECTION

N.T.S.



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26 IBM Road
Poughkeepsie, NY 12601
CPLearn.com



PROJECT INFORMATION

Project Number
15066.00
Client Name

HUDSON RIVER HOUSING

Project Name
WINDOWS ON MAIN

Project Address
488 MAIN STREET POUGHKEEPSIE, NY 12601

PROJECT ISSUE & REVISION SCHEDULE

No.	Date	Description
1	8/13/2025	REVISED ALL SHEETS
2	8/20/2025	REVISED SITE PLAN
3	9/10/2025	REVISED SITE PLAN
4	11/11/2025	CITY OF Poughkeepsie REVIEW COMMENTS ON 10/28/25
5	12/02/2025	REVISIONS TO WORKING AND BUILDING FOOTPRINT
6	4/27/2026	REVISED ALL SHEETS

PROFESSIONAL STAMPS

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NEW YORK STATE EDUCATION STATEMENT

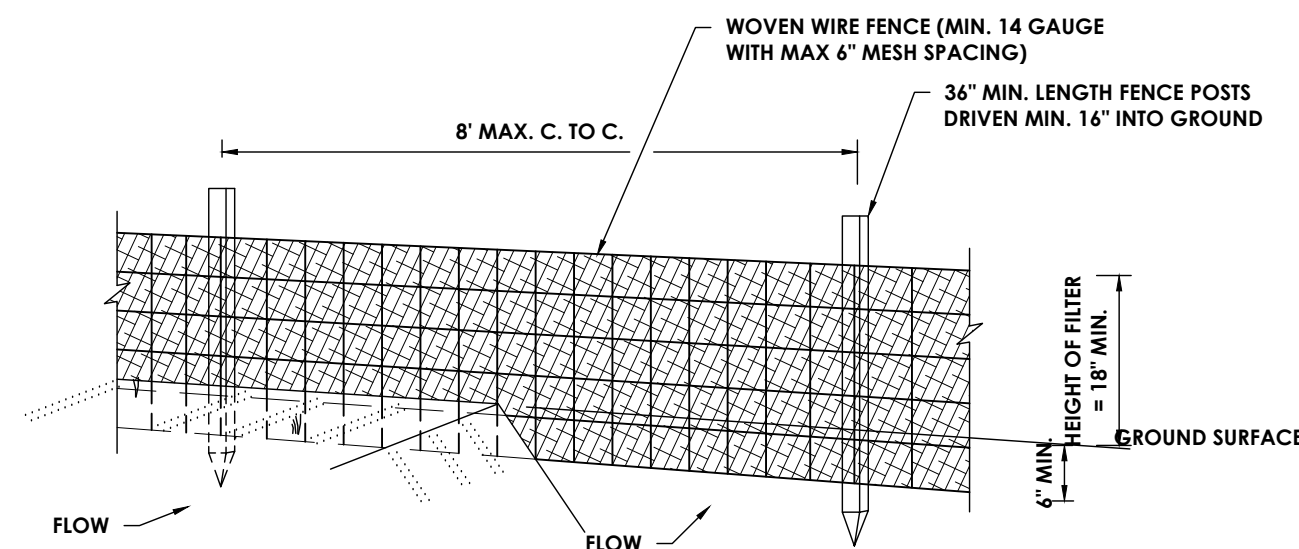
THIS IS A DECLARATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S REGULATIONS FOR ANY PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR ARCHITECTURAL ENGINEER REGISTERED IN THE STATE OF NEW YORK. I, THE SIGNER, AM THE DESIGNER OF RECORD FOR THE PROJECT AND I AM AWARE OF THE REQUIREMENTS OF THE EDUCATION LAW AND THE COMMISSIONER'S REGULATIONS. I HAVE READ AND UNDERSTAND THE REQUIREMENTS OF THE EDUCATION LAW AND THE COMMISSIONER'S REGULATIONS AND I HAVE AGREED TO FOLLOW THEM. I HAVE READ AND UNDERSTAND THE REQUIREMENTS OF THE EDUCATION LAW AND THE COMMISSIONER'S REGULATIONS AND I HAVE AGREED TO FOLLOW THEM. I HAVE READ AND UNDERSTAND THE REQUIREMENTS OF THE EDUCATION LAW AND THE COMMISSIONER'S REGULATIONS AND I HAVE AGREED TO FOLLOW THEM.

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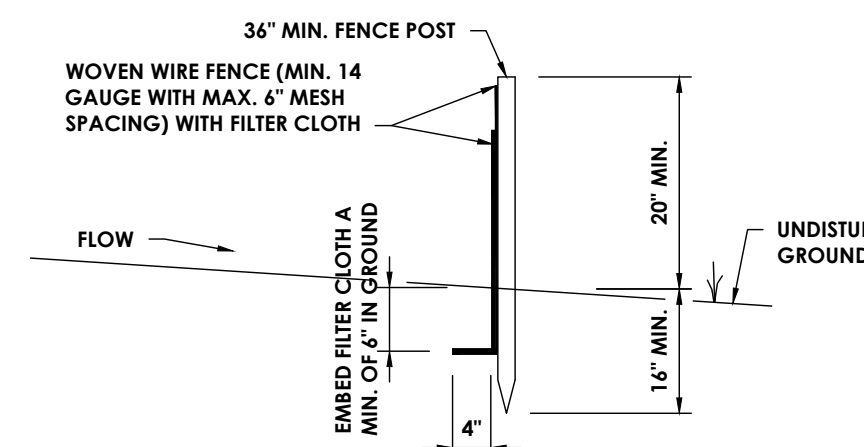
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06/24/25	AS NOTED
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DESIGN	Checked By
Drawn By ACL	ALL
Drawing Title	
DETAILS 2	

Drawing Number

WOM
C301



PERSPECTIVE VIEW



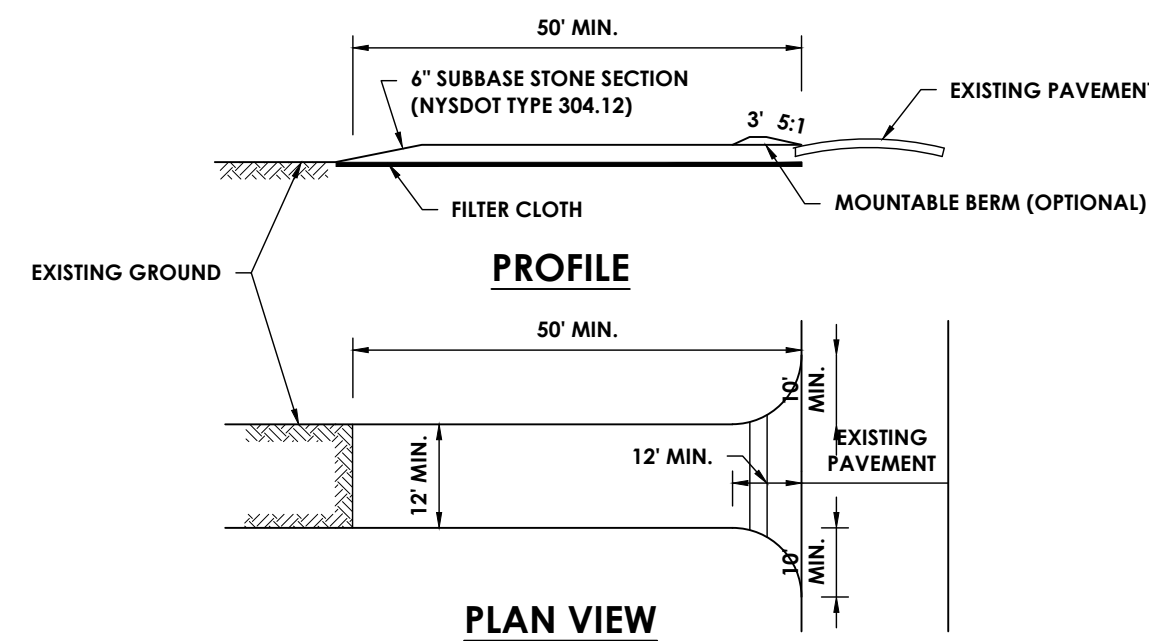
SECTION

CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIRES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP OF MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL.
- PREFABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE

SILT FENCE

N.T.S.



PLAN VIEW

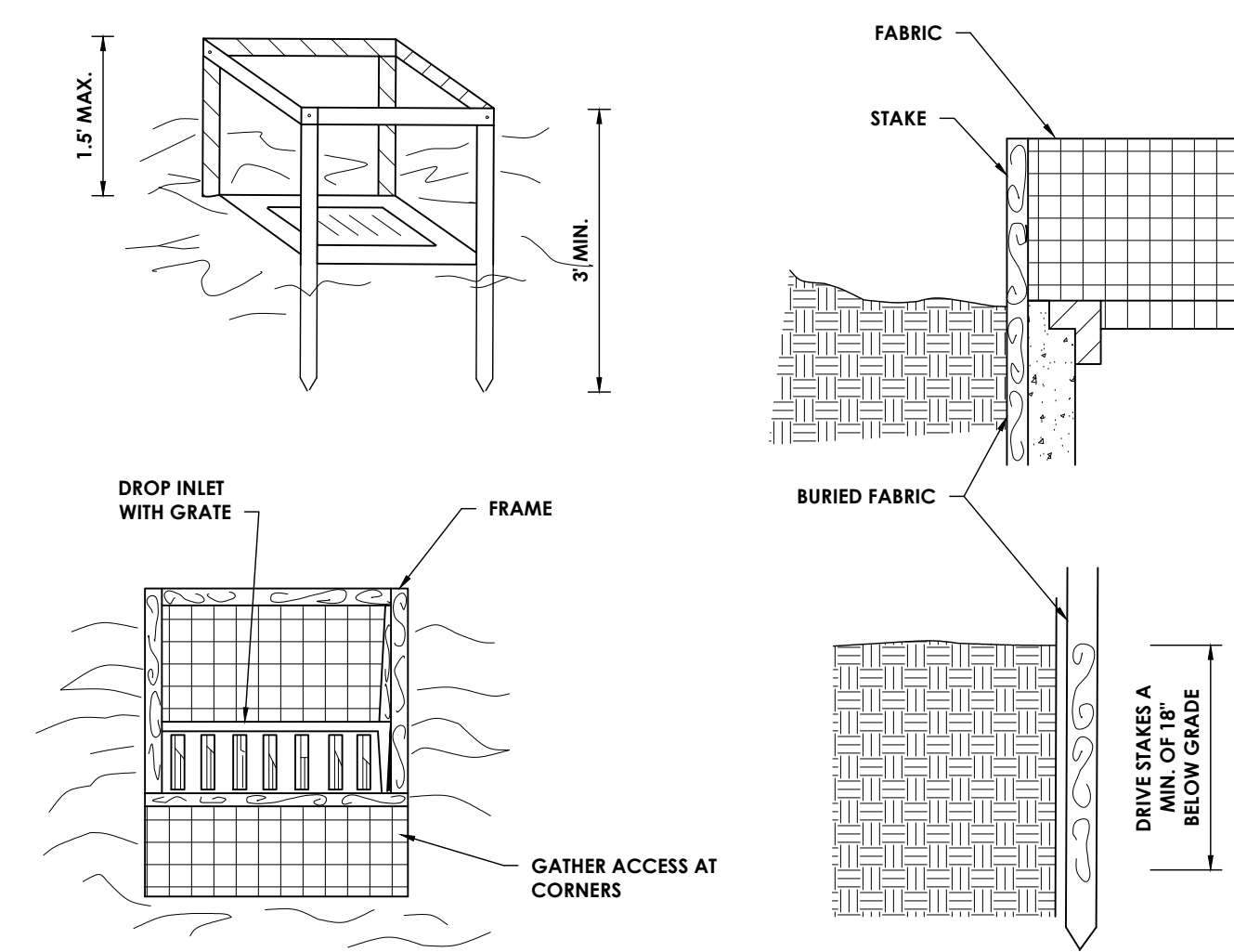
CONSTRUCTION NOTES:

- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY)
- THICKNESS - NOT LESS THAN SIX (6) INCHES
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5% SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE/DRIVEWAY

N.T.S.

2"X4" WOOD FRAME



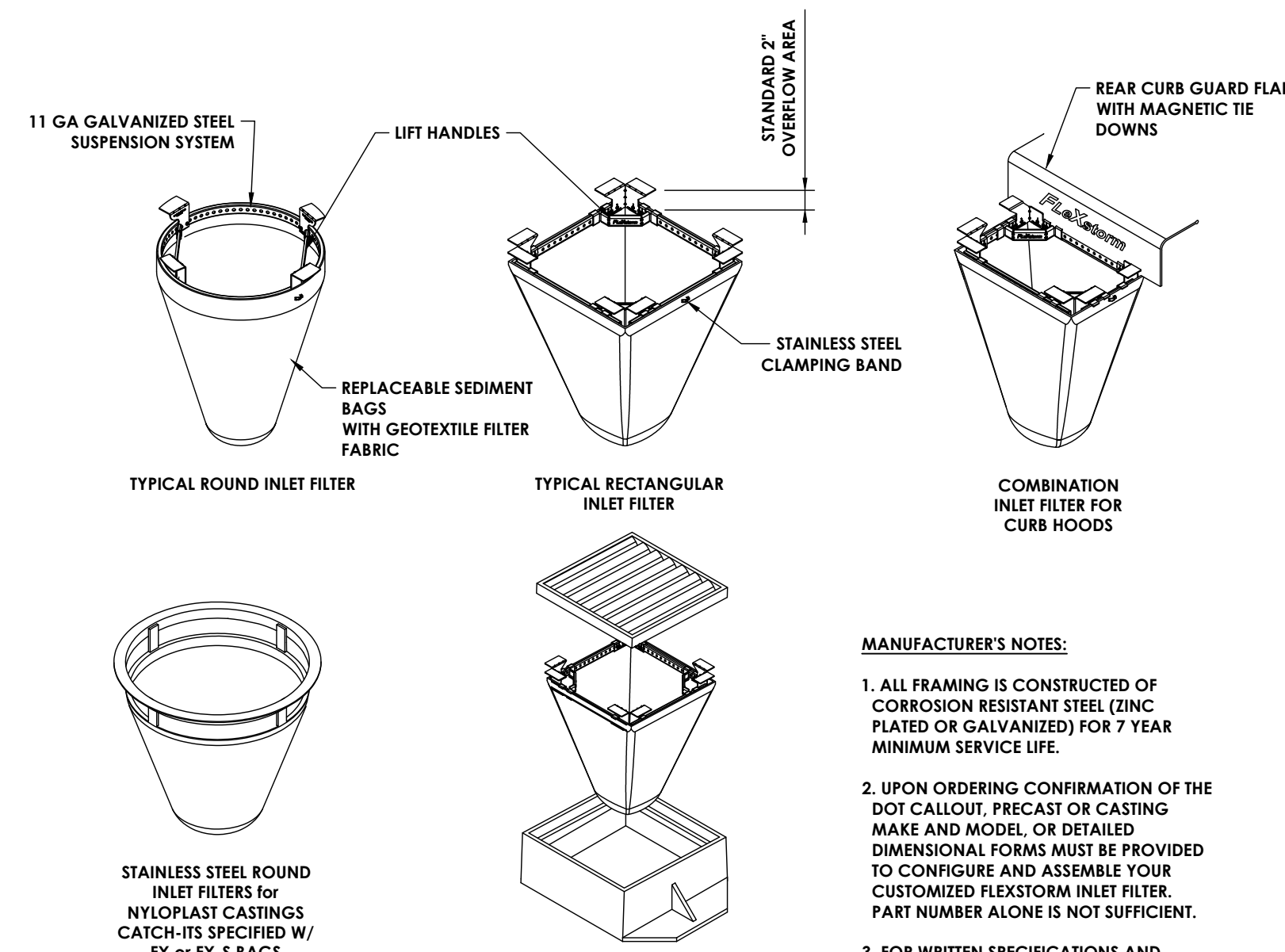
CONSTRUCTION SPECIFICATIONS

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

*MAXIMUM DRAINAGE AREA 1 ACRE

FILTER FABRIC DROP INLET PROTECTION

N.T.S.

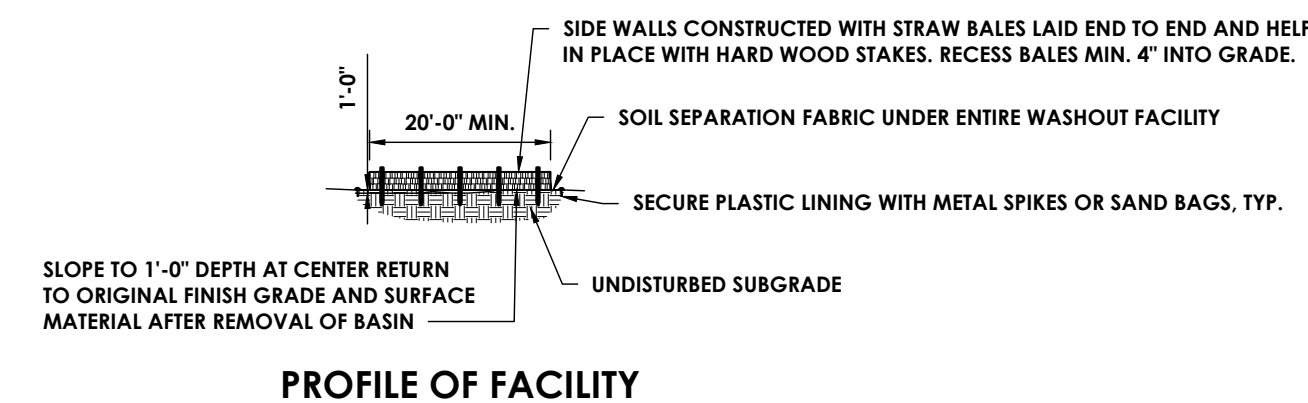


FLEXSTORM CATCH-IT CATCH BASIN INSERT

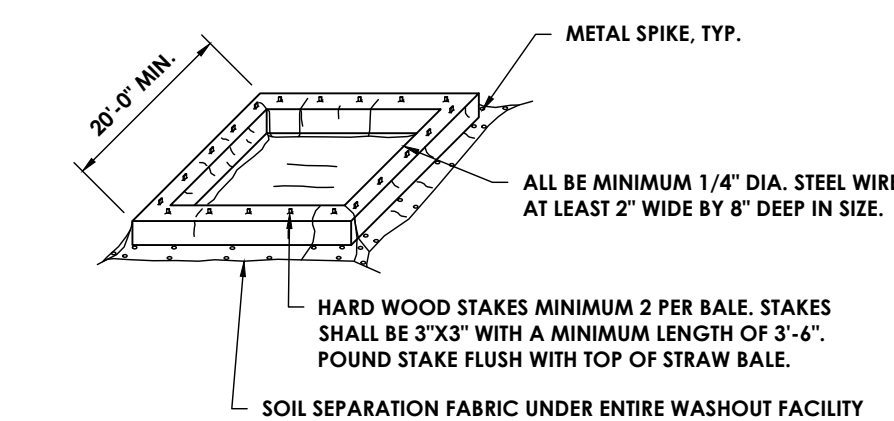
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MANUFACTURER'S NOTES:

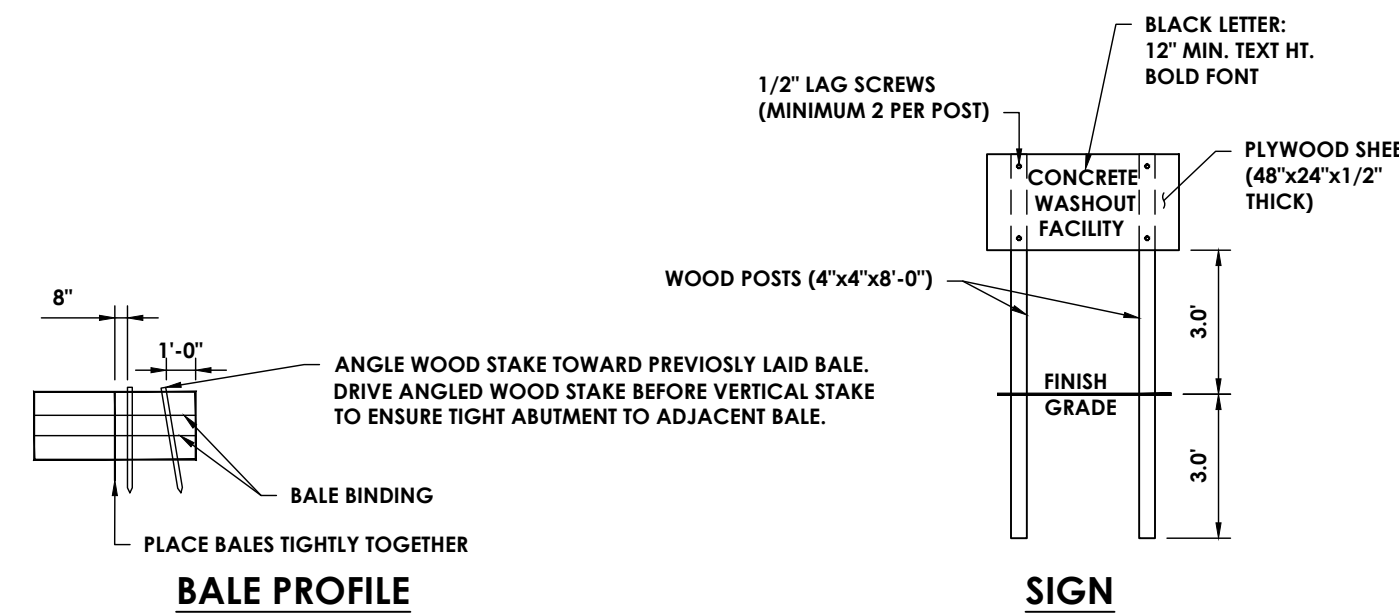
- ALL FRAMING IS CONSTRUCTED OF CORROSION RESISTANT STEEL (ZINC PLATED OR GALVANIZED) FOR 7 YEAR MINIMUM SERVICE LIFE.
- UPON ORDERING CONFIRMATION OF THE DOT CALLOUT, PRECAST OR CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED TO CONFIGURE AND ASSEMBLE YOUR CUSTOMIZED FLEXSTORM INLET FILTER. PART NUMBER ALONE IS NOT SUFFICIENT.
- FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM



PROFILE OF FACILITY



ISOMETRIC VIEW OF FACILITY

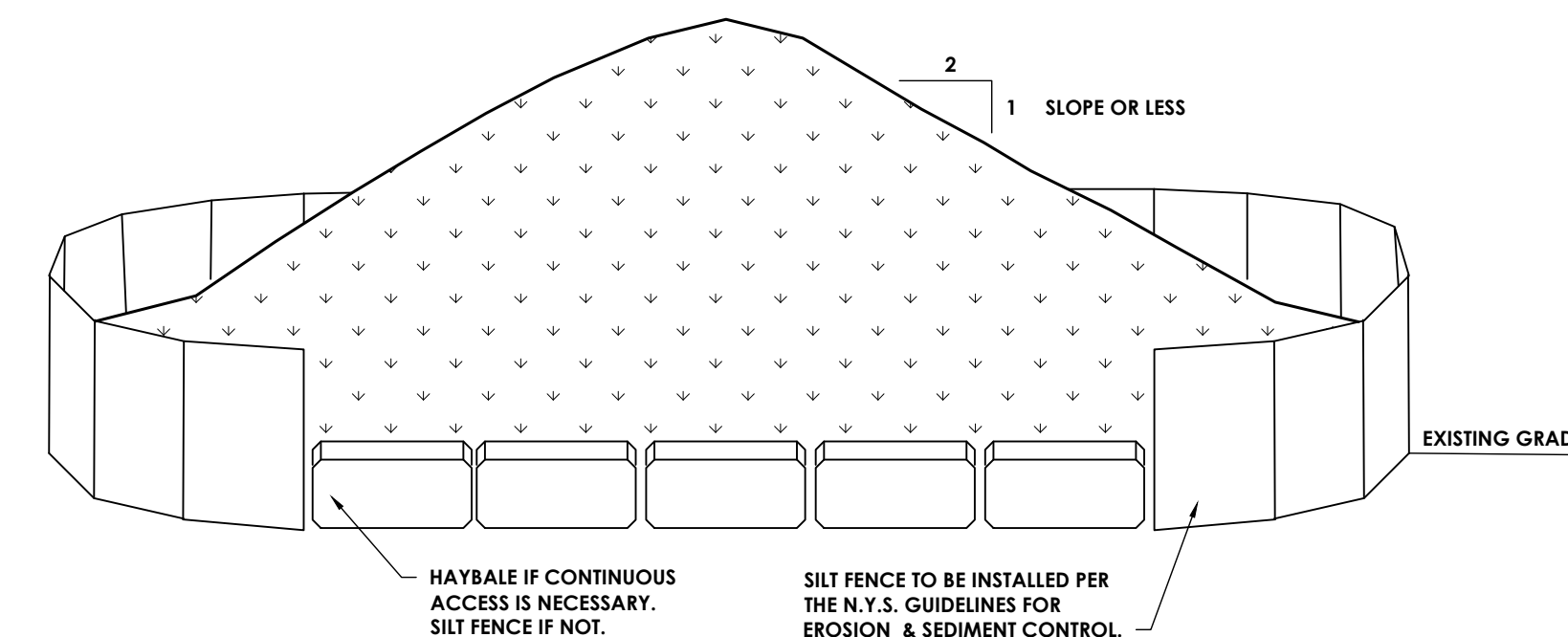


BALE PROFILE

SIGN

CONCRETE TRUCK WASHOUT

N.T.S.



NOTES:

- AREA CHOSEN FOR STOCKPILING SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR HAY BALES AND STABILIZED SEED AND MULCH OR JUTE MESH.
- SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCING AND HAY BALES.
- SIZE OF STOCKPILE SHALL NOT EXCEED THE LIMITATIONS OF DRAINAGE AREA PER SILT FENCE SPECIFICATIONS.
- INSTALL SILT FENCE AND OR HAY BALES A MINIMUM OF 10' FROM THE TOE OF THE STOCKPILE.

SOIL STOCKPILE STABILIZATION DETAIL

N.T.S.

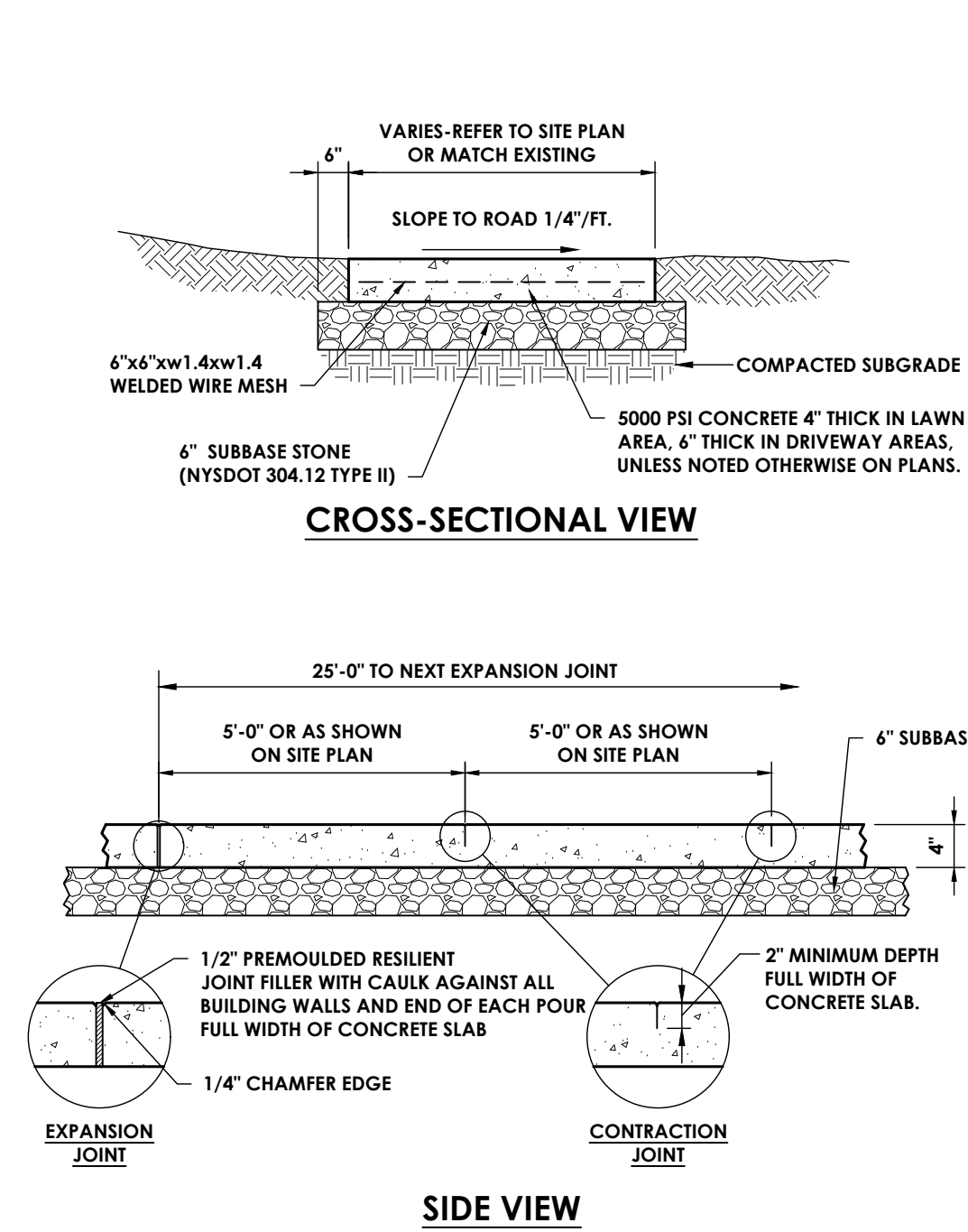
SIDEWALK NOTES

GENERAL:

- THE DIMENSIONS AND SLOPE PRESENTED IN THE DETAILS ARE THE MINIMUM NECESSARY TO COMPLY WITH THE ADA AND DOT STANDARDS. ANY DEVIATION LESS THAN THE MINIMUM WIDTH OR GREATER THAN THE MAXIMUM SLOPE FROM THESE STANDARDS MUST BE DOCUMENTED WITH THE STANDARDS BEING MET TO THE GREATEST EXTENT PRACTICABLE AND CONSISTENT WITH THE MOST CURRENT ADAAG.
- THE DETAILS PROVIDED ARE NOT DRAWN TO SCALE. THE QUALITY OF DOMES DEPICTED ON THE DETECTABLE WARNING UNIT (THE DOMES AND THE ENTIRE 24" LEVEL SURFACE) IS FOR ILLUSTRATION ONLY.
- CURB RAMPS, LANDINGS AND BLENDED TRANSITIONS MAY REQUIRE THE USE OF DETECTABLE WARNINGS. DETECTABLE WARNINGS ON THIS SHEET ARE SHOWN FOR ILLUSTRATION ONLY. REFER TO THE DETECTABLE WARNING DETAILS FOR DETAILS ON PLACEMENT, ORIENTATION & DIMENSIONS. REFER TO CHAPTER 18 OF THE HIGHWAY DESIGN MANUAL FOR MORE INFORMATION.
- THE CONFIGURATIONS SHOWN GENERALLY REPRESENT THE MOST COMMON SITUATIONS ENCOUNTERED. THEY ARE INTENDED TO PRESENT CURB RAMP DESIGN CONCEPTS. SITE CONDITIONS AT INDIVIDUAL LOCATIONS REQUIRE SPECIFIC DESIGNS.
- COORDINATE TRAFFIC CONTROL DEVICES, UTILITY LOCATIONS, SIGNS, STREET FURNITURE AND DRAINAGE TO ENSURE A CONTINUOUS PEDESTRIAN ACCESS ROUTE AT ALL CURB RAMP LOCATIONS. GUIDANCE FOR CROSSWALK MARKINGS AND TRAFFIC CONTROL DEVICES IS PROVIDED IN THE MUTCD.
- USE TYPE 8 ONLY WHERE OTHER RAMPS ARE UNUSABLE. SINGLE DIAGONAL OR DEPRESSED CORNER CURB RAMPS SERVING TWO STREET CROSSING DIRECTIONS SHOULD BE AVOIDED IN NEW CONSTRUCTION AND SHOULD ONLY BE CONSIDERED WHERE CONDITIONS REQUIRE THEIR USE. SEE NYSDOT STANDARD SHEETS 608-01 FOR RAMP TYPES.
- GRATES SHALL NOT BE LOCATED ON CURB RAMPS, BLENDED TRANSITIONS OR LANDINGS. ACCESS TO COVERS OF SIMILAR SURFACES SHALL COMPLY WITH APPLICABLE SURFACE REQUIREMENTS.
- UTILITIES, SIGNS AND OTHER FIXED OBJECTS MAY NOT BE PLACED ON A CURB, OR IN A MANNER THAT INTERFERES WITH THE USE OF THE CURB RAMP.
- THE SURFACE OF ALL CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT. A COARSE BROOM FINISH RUNNING PERPENDICULAR TO THE SLOPE IS RECOMMENDED ON CONCRETE RAMP SURFACES, EXCLUSIVE OF THE DETECTABLE WARNING FIELDS.
- THERE SHALL BE A LANDING AT THE TOP OF EACH PERPENDICULAR CURB RAMP AND A LANDING AT THE BOTTOM OF RAMPS TYPE 6 & 9. SEE NYSDOT STANDARD SHEETS 608-01 FOR RAMP TYPES.
- LANDINGS MAY OVERLAP WITH ADJACENT LANDINGS OR A SINGLE LANDING MAY SERVE MULTIPLE CURB RAMPS.
- LANDINGS MAY OVERLAP WITH THE CLEAR GROUND SPACE REQUIRED AT PEDESTRIAN SIGNAL PUSH BUTTONS.

CURB RAMP NOTES:

- THE MINIMUM WIDTH FOR SIDEWALK CURB RAMPS IS 5'-0".
- THE RUNNING SLOPE OF A CURB RAMP SHALL BE 1:20 (5%) MINIMUM (PREFERRED) AND 1:12 (8.33%) MAXIMUM.
- WHERE THE SLOPE OF THE ROADWAY EXCEEDS 8.33%, THE CURB RAMP LENGTH IS THE LENGTH NECESSARY TO MEET THE EXISTING SIDEWALK. IT IS NOT NECESSARY THAT THE RAMP LENGTH EXCEED 15'-0".
- THE CROSS SLOPE OF CURB RAMPS SHOULD BE AS FLAT AS POSSIBLE, NOT TO EXCEED 1:50 (2%). THE CROSS SLOPE AT MIDBLOCK CROSSINGS MAY BE WARPED TO MEET STREET OR HIGHWAY GRADE.
- THE VERTICAL ALIGNMENT OF A CURB RAMP, EXCLUDING THE FLARES, SHALL BE PLANAR. GRADE BREAKS SHALL BE FLUSH AND PERPENDICULAR TO THE DIRECTION OF THE RAMP.
- RAMP TRANSITIONS BETWEEN WALKS, LANDINGS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/2" MAX).
- WHERE A PEDESTRIAN CIRCULATION PATH CROSSES THE CURB RAMP, FLARED SIDES WITH A SLOPE OF 10% MAXIMUM, MEASURED PARALLEL TO THE CURB LINE, SHALL BE PROVIDED.



TYPICAL CONCRETE SIDEWALK
N.T.S.

LANDING NOTES:

- LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF A 5'-0" BY 5'-0"
- THE RUNNING AND CROSS SLOPES ON LANDINGS AT INTERSECTIONS IS 1:50 (2%) MAXIMUM. THE RUNNING AND CROSS SLOPES AT MIDBLOCK CROSSINGS MAY BE WARPED TO MEET STREET OR HIGHWAY GRADE.

DETECTABLE WARNING UNIT DIMENSIONS:

- THE SIZE OF THE DETECTABLE WARNING FIELD SHALL BE 24" IN THE DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE, EXCLUSIVE OF SIDE FLARES.

DETECTABLE WARNINGS LOCATIONS:

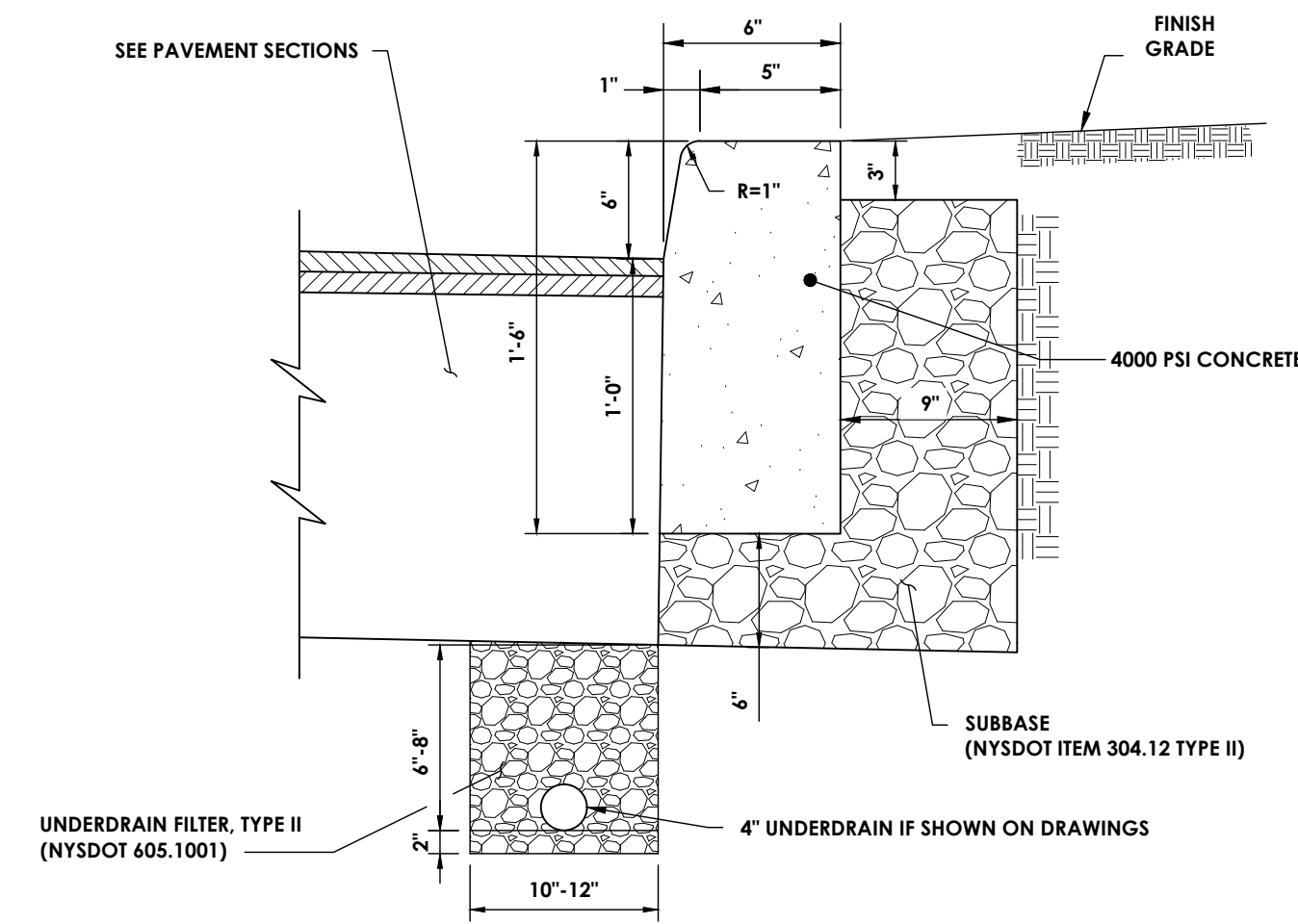
- DETECTABLE WARNINGS SHALL BE LOCATED SO THAT THE EDGE OR CORNER OF THE WARNING FIELD NEAREST TO THE ROADWAY IS 5" TO 9" FROM THE FRONT OF THE CURB OR THE ROADWAY EDGE (12" WHERE TRAVERSABLE CURB IS USED).
- THE EDGE OF THE DETECTABLE WARNING FIELD NEAREST TO A RAILROAD CROSSING SHALL BE 6'-0" MINIMUM AND 15'-0" MAXIMUM FROM THE CENTERLINE OF THE NEAREST RAIL.

DOMES ALIGNMENT:

- THE ROWS OF DOMES SHALL BE ALIGNED TO BE PERPENDICULAR OR RADIAL TO THE GRADE BREAK BETWEEN THE RAMP LANDING OR CURB RAMP AND THE STREET.
- WHERE DOMES ARE ARRAYED RADially THEY MAY DIFFER IN DOME DIAMETER AND CENTER-TO-CENTER SPACING WITHIN THE RANGES SPECIFIED ON THIS SHEET.

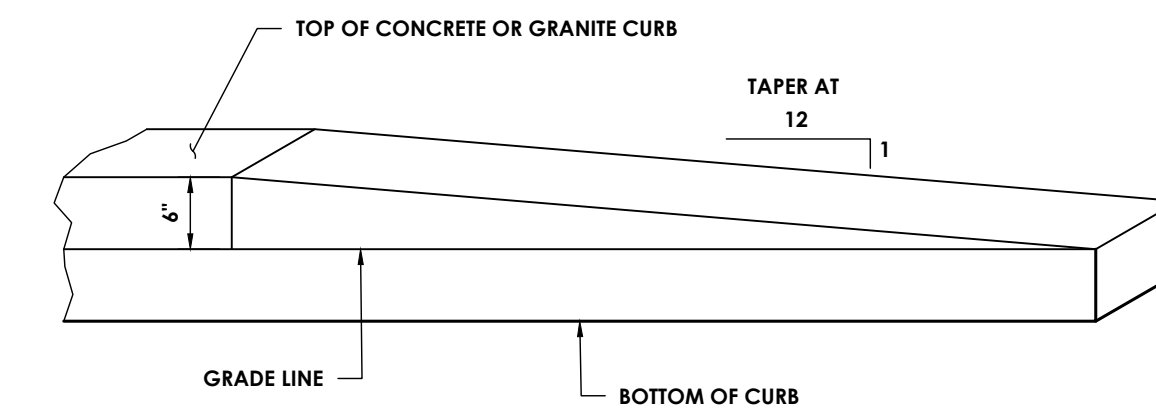
COLOR REQUIREMENTS:

- THE DETECTABLE WARNING FIELD SHALL BE THE COLOR SPECIFIED IN THE CONTRACT DOCUMENTS OR MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS.

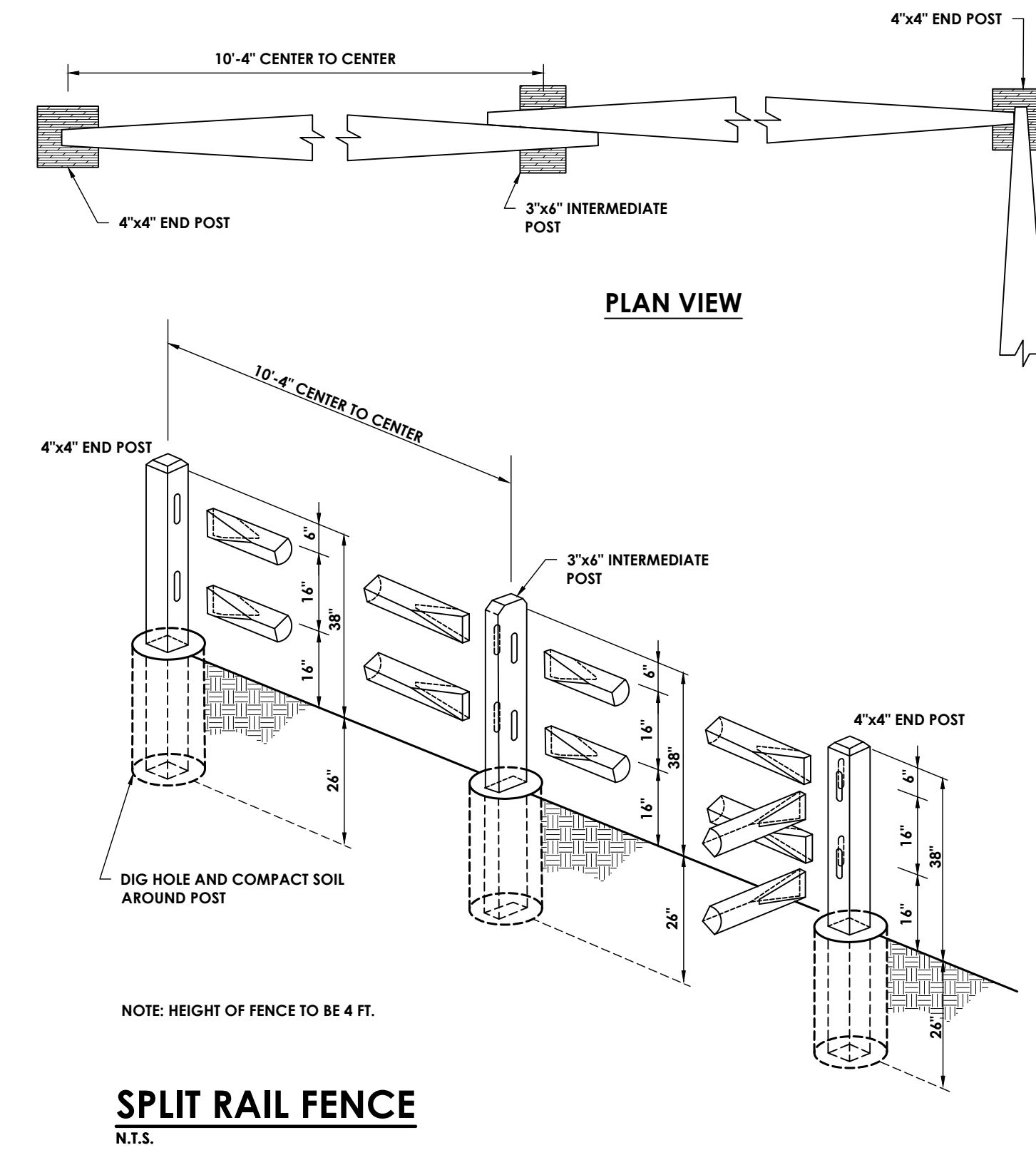


- CONTRACTION JOINTS TO BE AT 10 FOOT INTERVALS AND SHALL BE FORMED OR SAW CUT TO A DEPTH OF 1/2 INCH BELOW THE SURFACE OF THE CURB.
- EXPANSION JOINTS TO BE AT 50 FOOT INTERVALS AND SHALL BE FORMED WITH 3/4 INCH WIDE PREMOLDED BITUMINOUS JOINT FILLER. THE FILLER MATERIAL SHALL BE CUT TO CONFORM TO THE CROSS SECTION OF THE CURB.
- EXPANSION JOINTS AND FORMED CONTRACTION JOINTS ARE TO BE EDGED WITH CONCRETE FINISHING TOOLS.
- CONCRETE SEALING AGENT SHALL BE APPLIED THE SAME DAY THAT CURBS ARE CONSTRUCTED.

CONCRETE CURB
N.T.S.



CURB TRANSITION / TERMINAL
N.T.S.



SPLIT RAIL FENCE
N.T.S.



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26 BM Road
Poughkeepsie, NY 12601
CPLteam.com

Hudson River Housing, Inc.

PROJECT INFORMATION

Project Number
15066.00

Client Name
HUDSON RIVER HOUSING

Project Name
WINDOWS ON MAIN

Project Address
488 MAIN STREET POUGHKEEPSIE, NY 12601

PROJECT ISSUE & REVISION SCHEDULE

No.	Date	Description
1	8/13/2025	REVISED ALL SHEETS
2	8/20/2025	REVISED SITE PLAN
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4	11/11/2025	CITY OF Poughkeepsie REVIEW COMMENTS ON 10/28/25
5	12/02/2025	REVISIONS TO LIGHTING AND BUILDING FOOTPRINT
6	4/27/2026	REVISED ALL SHEETS

PROFESSIONAL STAMPS

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NEW YORK STATE EDUCATION STATEMENT
I, the undersigned, being a duly licensed professional engineer and the commissioner of the state of New York, do hereby certify that the above-named person is a duly licensed professional engineer in the state of New York, and is qualified to perform the duties of the position mentioned above, and that the same person is the author of the design, specification, or report mentioned above, and that the same person is the author of the design, specification, or report mentioned above, and that the same person is the author of the design, specification, or report mentioned above, and that the same person is the author of the design, specification, or report mentioned above.

SHEET INFORMATION

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DESIGN	0
Drawn By	Checked By
ACL	ALL
Drawing Title	
DETAILS 4	

Drawing Number

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C303**



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PROJECT INFORMATION

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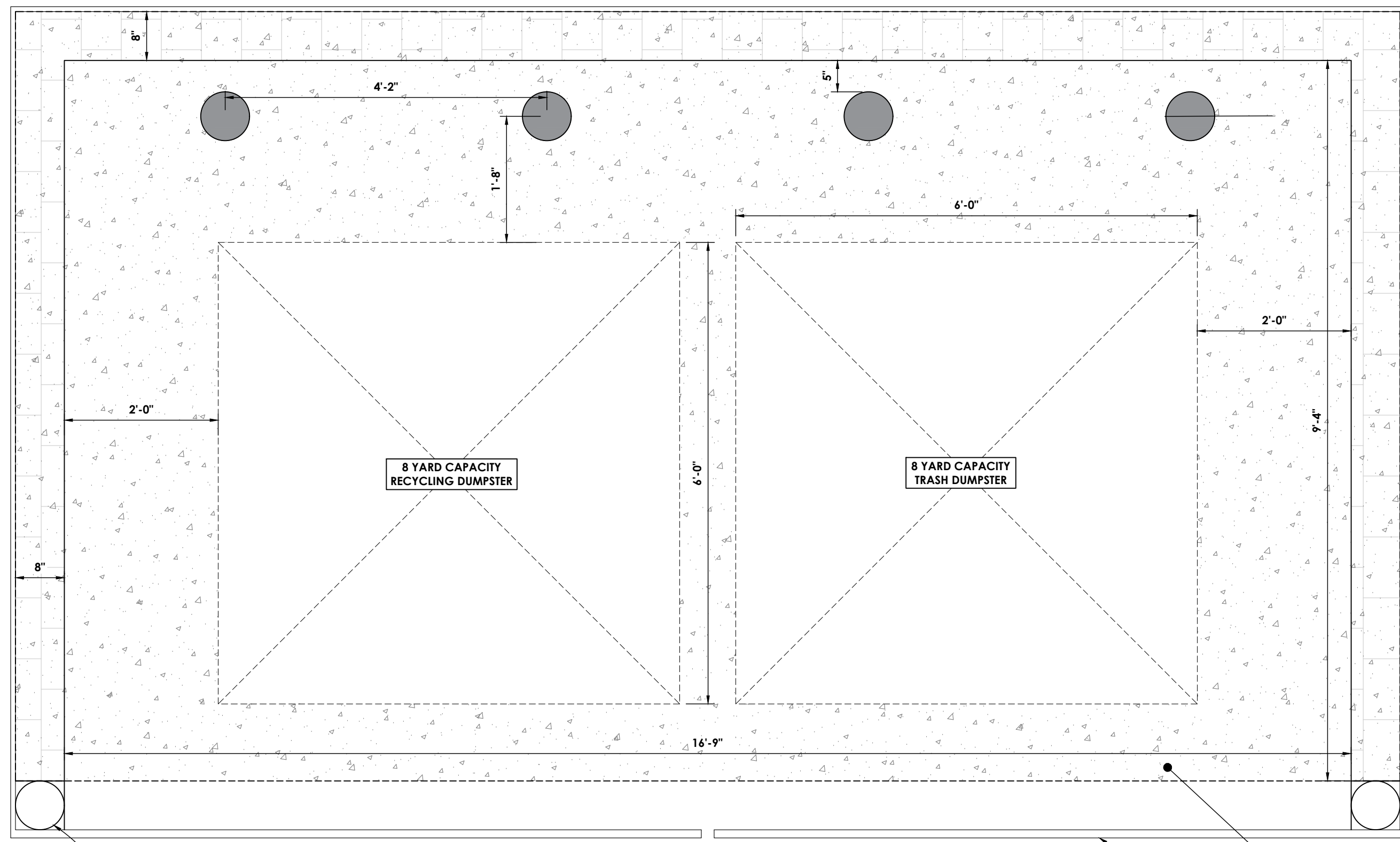
NEW YORK STATE EDUCATION STATEMENT
I, THE UNDERSIGNED, A LICENSED ARCHITECT, ENGINEER, PLANNING ARCHITECT, OR PROFESSIONAL DESIGNER, HEREBY CERTIFY THAT I AM THE AUTHOR, DESIGNER, OR PREPARED UNDER MY CLOSE PERSONAL SUPERVISION AND CONTROL OF ALL PORTIONS OF THE DESIGN OR CONSTRUCTION DOCUMENTS AND THAT I AM A MEMBER IN GOOD STANDING OF THE PROFESSIONAL SOCIETY OF ARCHITECTS, ENGINEERS, PLANNING ARCHITECTS, OR PROFESSIONAL DESIGNERS OF THE STATE OF NEW YORK.

SHEET INFORMATION

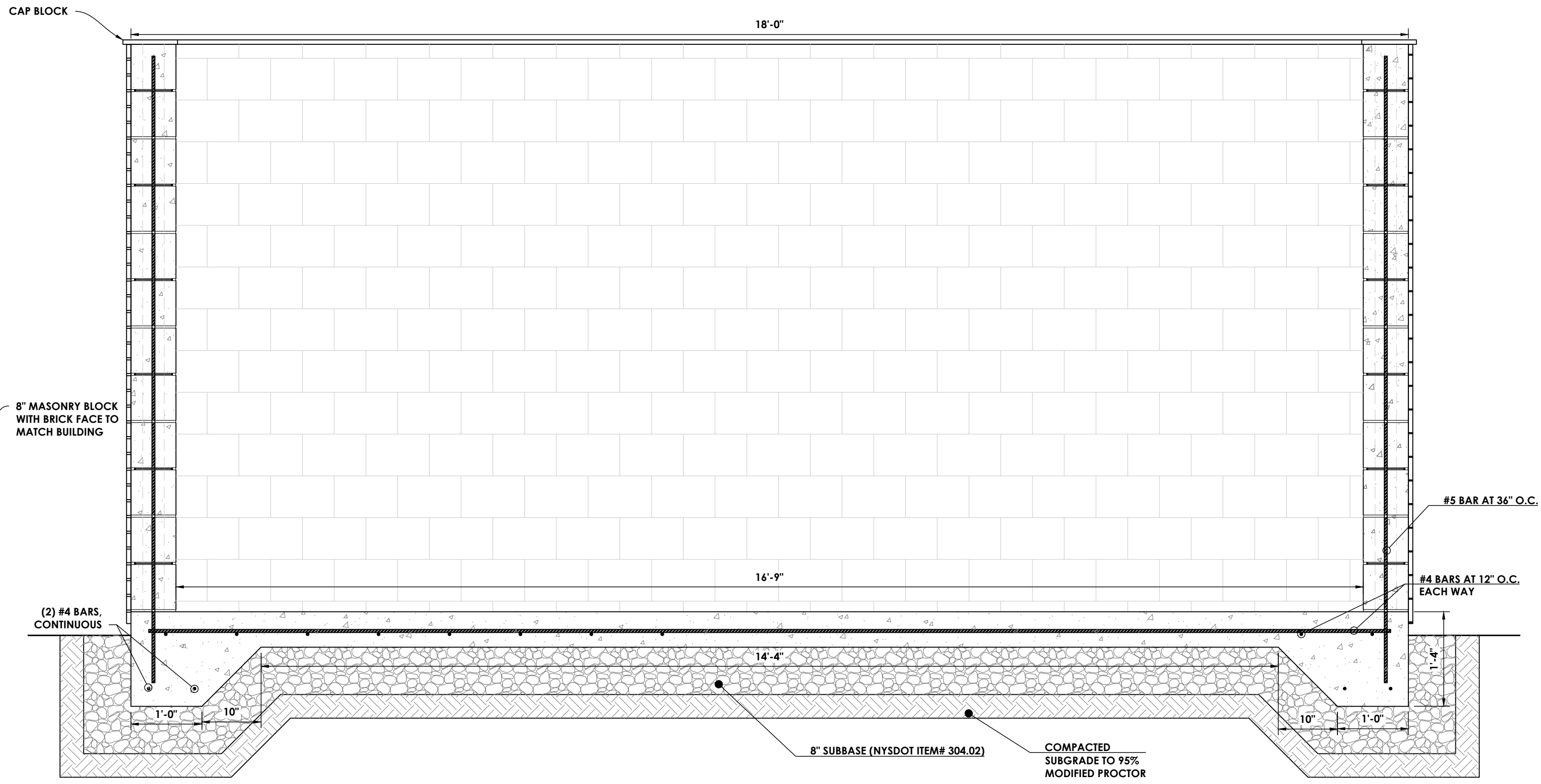
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Scale
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Checked By
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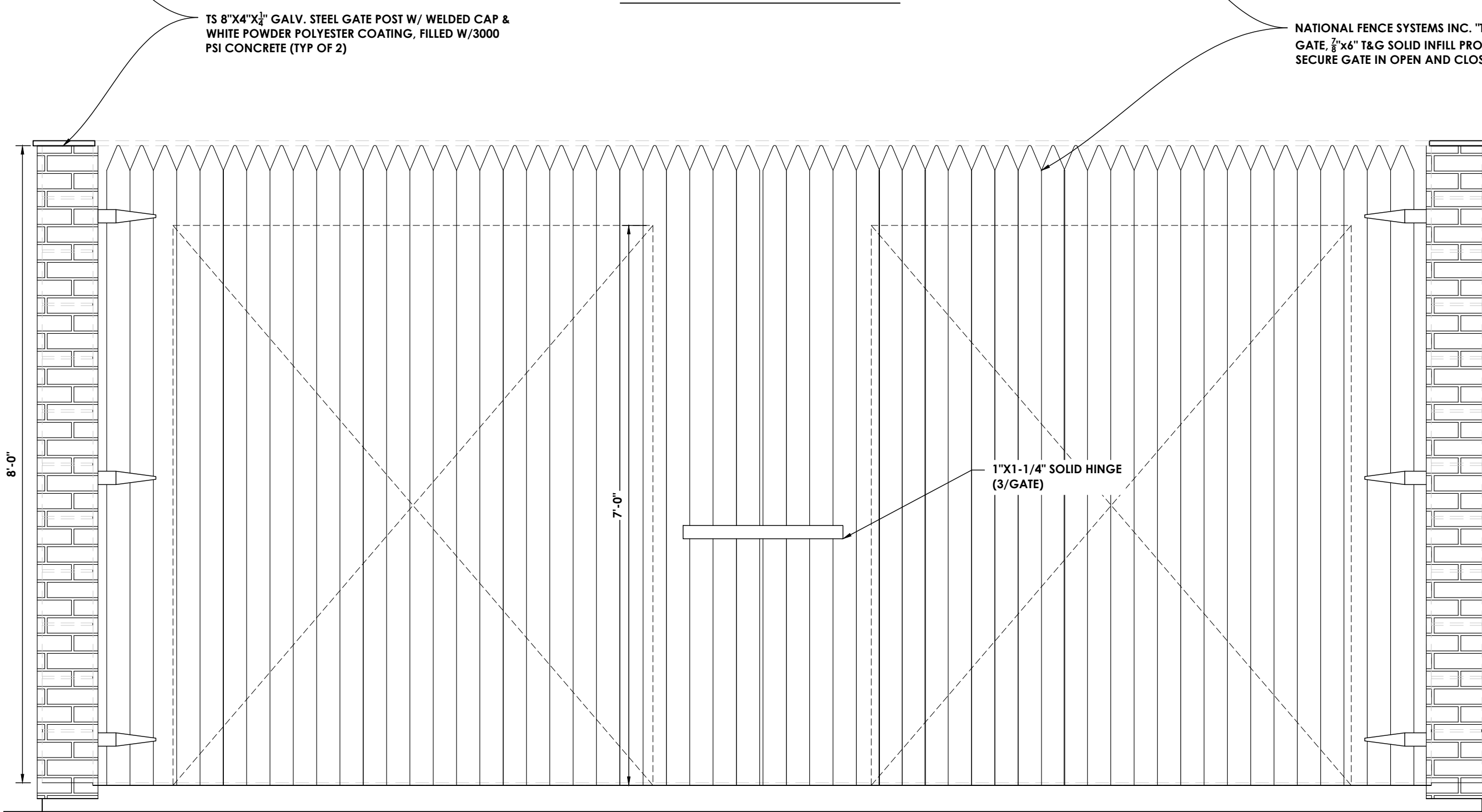
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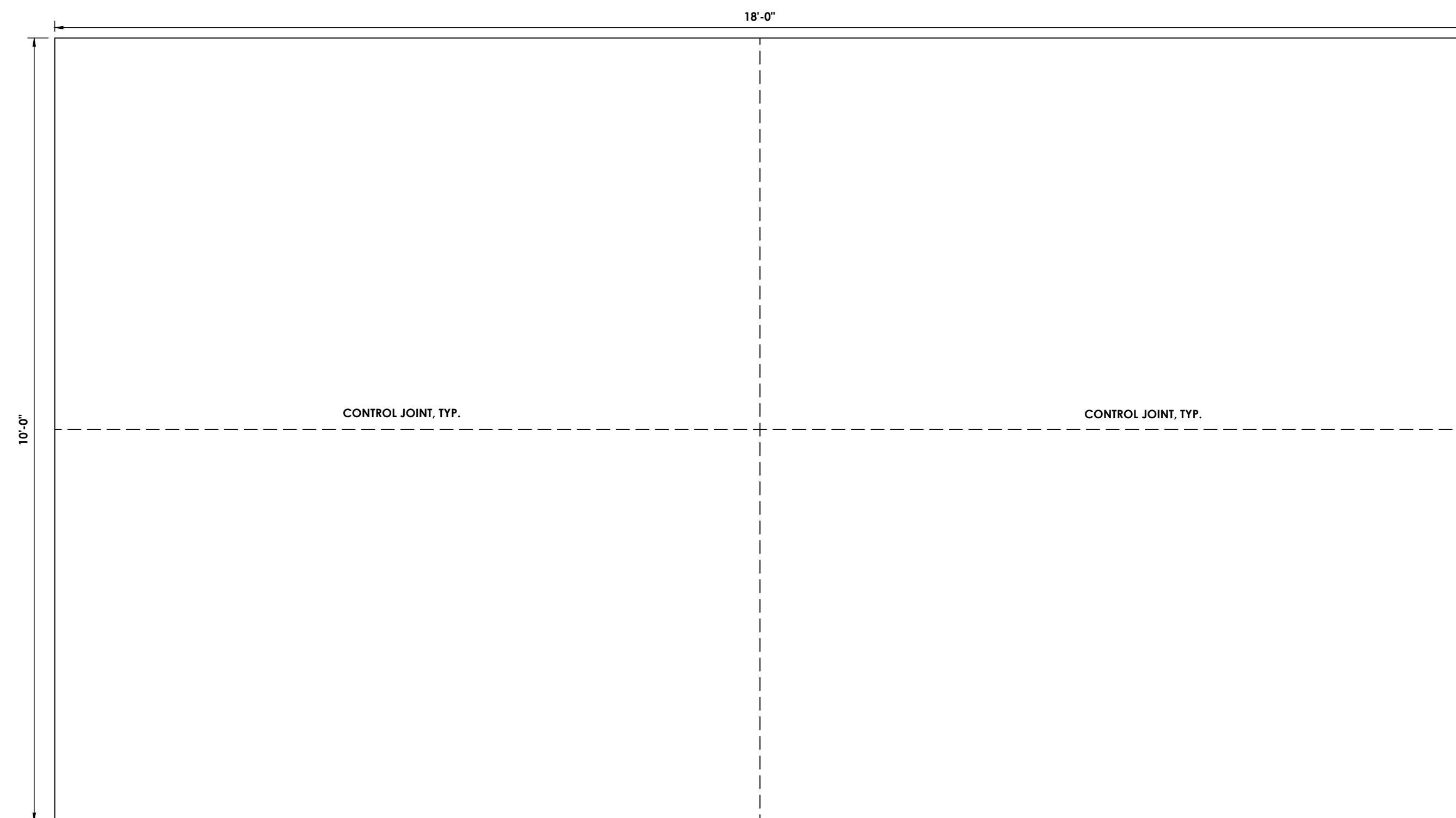
DUMPSTER ENCLOSURE PLAN



DUMPSTER ENCLOSURE TYPICAL SECTION



DUMPSTER ENCLOSURE FRONT ELEVATION



DUMPSTER ENCLOSURE SLAB PLAN

DUMPSTER ENCLOSURE DETAILS

SCALE: 3/4" = 1'-0"

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 Date last accessed: 4/28/2026 10:07 AM
 Date last plotted: 4/28/2026 10:07 AM
 Plotted By: Christian Moore



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PROFESSIONAL STAMPS

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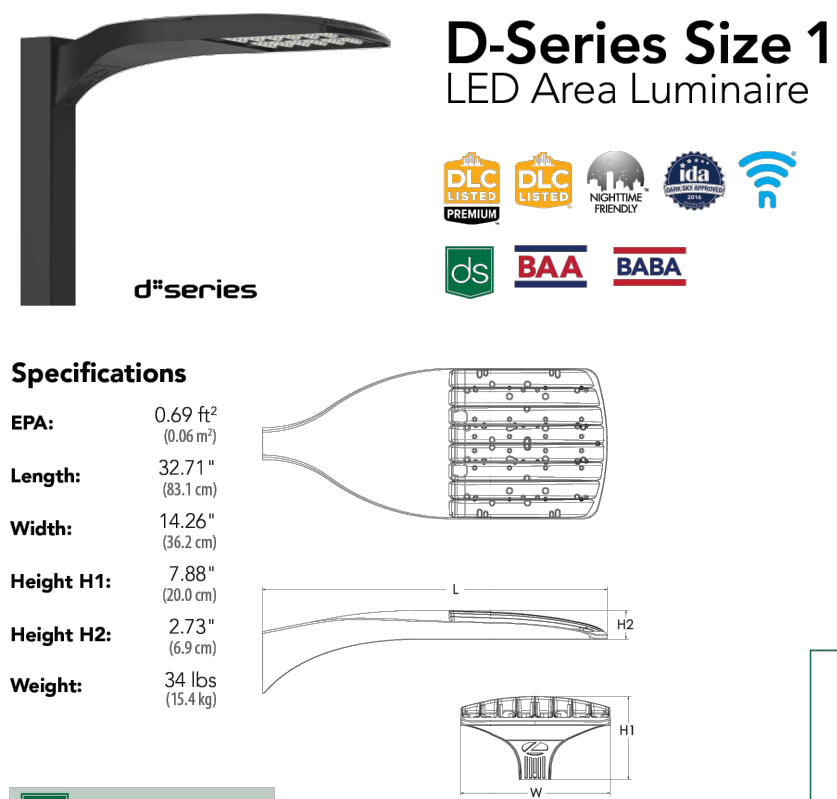
NEW YORK STATE EDUCATION STATEMENT
I, the undersigned, being a duly licensed Professional Engineer in the State of New York, do hereby certify that the above is a true and correct copy of the original as submitted to me for review and approval. I am a duly licensed Professional Engineer in the State of New York, No. 12345, and I am the author of the design shown on these drawings. I have read the drawings and the specifications and I am satisfied that they conform to the requirements of the laws and regulations of the State of New York. I have also read the contract and the conditions of service and I am satisfied that they conform to the requirements of the laws and regulations of the State of New York. I have also read the contract and the conditions of service and I am satisfied that they conform to the requirements of the laws and regulations of the State of New York.

SHEET INFORMATION

Issued
06/24/25
Scale
AS NOTED
Project Status
Civil Revision Number
DESIGN
Checked By
Down By
ACM
ALL
Drawing Title
DETAILS 6

Drawing Number
**WOM
C305**

**D-Series Size 1
LED Area Luminaire**



Specifications

EPA: 0.69 ft²
(0.06 m²)
Length: 32.71"
(83.3 cm)
Width: 14.26"
(36.2 cm)
Height H1: 7.88"
(20.0 cm)
Height H2: 2.73"
(6.9 cm)
Weight: 34 lbs
(15.4 kg)

Catalog Number	Notes	Type

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.
The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.aullybrands.com/designselect. *See ordering tree for details.

Design Select options indicated by this color background.

Ordering Information

EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DDBXD

Series	LEDs	Color temperature ¹	Color Rendering Index ²	Distribution	Voltage	Mounting
DSX1 LED	Forward optics	(this section 70CRI only)				
P1	P6	50K 3000K	70CRI	AFR	Automotive front row	Shipped included
P2	P7	40K 4000K	70CRI	T15	Type I low glare	SPAS Square pole mounting (88 drilling)
P3	P8	50K 5000K	70CRI	T2M	Type II medium	SPRA Round pole mounting (88 drilling)
P4	P9			TM3	Type III medium	SPAS Square pole mounting #5 drilling ³
P5		27K 2700K	80CRI	TBLG	Type III low glare ⁴	SPAS Round pole mounting #5 drilling ³
Backlit optics		35K 3500K	80CRI	TM4	Type IV medium	SPAS Round pole mounting #5 drilling ³
P10	P12	40K 4000K	80CRI	TBLG	Type III low glare ⁴	SPAS Round pole mounting #5 drilling ³
P11	P13	50K 5000K	80CRI	TM4	Type IV medium	SPAS Round pole mounting #5 drilling ³
				TALC	Type III low glare ⁴	SPAS Round pole mounting #5 drilling ³
				LFCC	Left corner cutoff ⁵	SPAS Round pole mounting #5 drilling ³
				RCCD	Right corner cutoff ⁵	SPAS Round pole mounting #5 drilling ³

Control options	Other options	Finish ⁶
Shipped installed	Shipped installed	Shipped installed
NLARB2 PIRHN Light AR lens 2 enabled with bi-level motion / ambient sensor, 8-40" mounting height, ambient sensor enabled at 2x, 10, 20, 30, 40, 50, 60, 70, 80, 90, 100, 110, 120, 130, 140, 150, 160, 170, 180, 190, 200, 210, 220, 230, 240, 250, 260, 270, 280, 290, 300, 310, 320, 330, 340, 350, 360, 370, 380, 390, 400, 410, 420, 430, 440, 450, 460, 470, 480, 490, 500, 510, 520, 530, 540, 550, 560, 570, 580, 590, 600, 610, 620, 630, 640, 650, 660, 670, 680, 690, 700, 710, 720, 730, 740, 750, 760, 770, 780, 790, 800, 810, 820, 830, 840, 850, 860, 870, 880, 890, 900, 910, 920, 930, 940, 950, 960, 970, 980, 990, 1000	SPROV 30" surge protection INS Inconceal shield (black finish standard) ⁷ L90 Left rotated optics ¹ R90 Right rotated optics ¹ CCE Coastal Construction ⁸ WA 50°C ambient operation ⁹ BAA Buy America's Act and/or Build America Buy America Qualified SF Single fuse (120, 277, 347V) ¹⁰ DF Double fuse (208, 240, 480V) ¹⁰	DWHD Dark bronze DRLD Dark DNAXD Natural Aluminum DWBKD White DDBKD Textured dark bronze DRBKD Textured black DNRKD Textured natural aluminum DWHKD Textured white
PER NEMA twist-lock receptacle only (controls ordered separately) ¹¹	DS Dual switching ^{12, 13, 14}	DWBKD White
PER5 Five-pin receptacle only (controls ordered separately) ¹⁵		DWBKD White

LITHONIA LIGHTING
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**KBC8 LED
LED Specification Bollard**



Specifications

8" Round
(20.3 cm)
Height: 42"
(106.7 cm)
Weight (max): 27 lbs
(12.25 kg)

Catalog Number	Notes	Type

Introduction

The KBC8 Bollard is a stylish, fully integrated LED solution for walkways. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.
With an expected service life of over 20 years of nighttime use and up to 70% in energy savings over comparable 100W metal halide luminaires, the KBC8 Bollard is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: KBC8 LED 16C 700 40K SYM MVOLT DDBXD

Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Control options	Other options	Finish ⁶
KBC8 LED	Asymmetric	350 350 mA	50K 3000K	ASY Asymmetric¹	MVOLT¹	Shipped installed		Shipped installed
	12C 12 LEDs ²	450 450 mA ¹⁴	40K 4000K	SYM Symmetric ²	120 ¹	PE Photometric cell, button type	SF Single fuse (120, 277, 347V) ¹⁰	DWHD White DNAXD Natural aluminum DWBKD White DDBKD Textured dark bronze DRBKD Textured black DNRKD Textured natural aluminum DWHKD Textured white
	Symmetric	530 530 mA	50K 5000K		240 ¹	DWG 0-10V dimming with pulled outside fixture (for use with an external control, ordered separately)	DF Double fuse (208, 240V) ¹⁰	
	16C 16 LEDs ²	700 700 mA	AMBK Amber phosphor converted		347 ¹	H24 24" overall height	H24 24" overall height	
			AMBWL Amber limited wavelength ¹⁵			H30 30" overall height	H30 30" overall height	
						E1CW Emergency battery backup CA Title 20 Noncompliant ¹⁶	H36 36" overall height	
						L1AB Without anchor bolts (1 bolt size)	H42 42" overall height	
						L1AB4 Bolt retrofit base without anchor bolts ¹⁷	H48 48" overall height	

Accessories

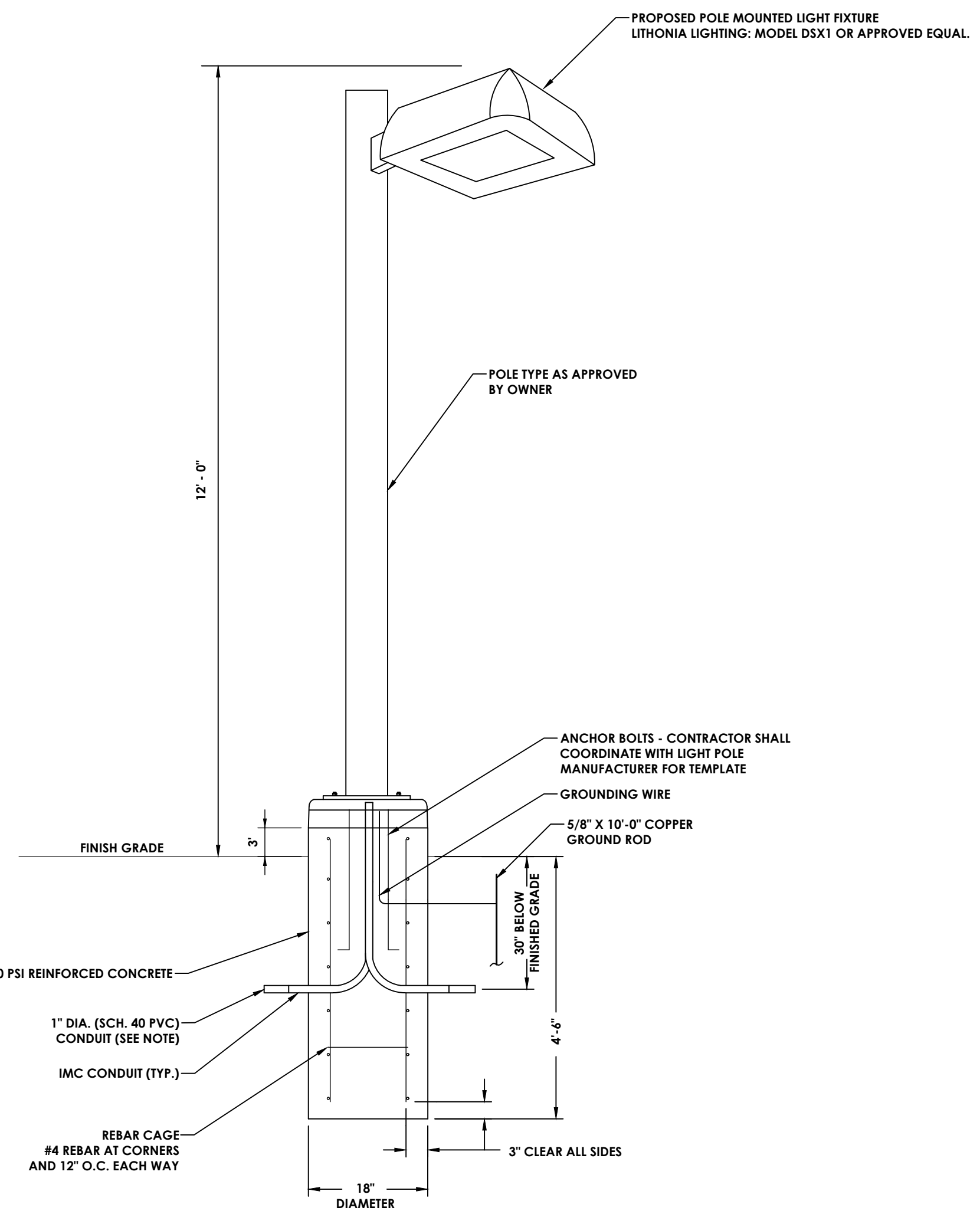
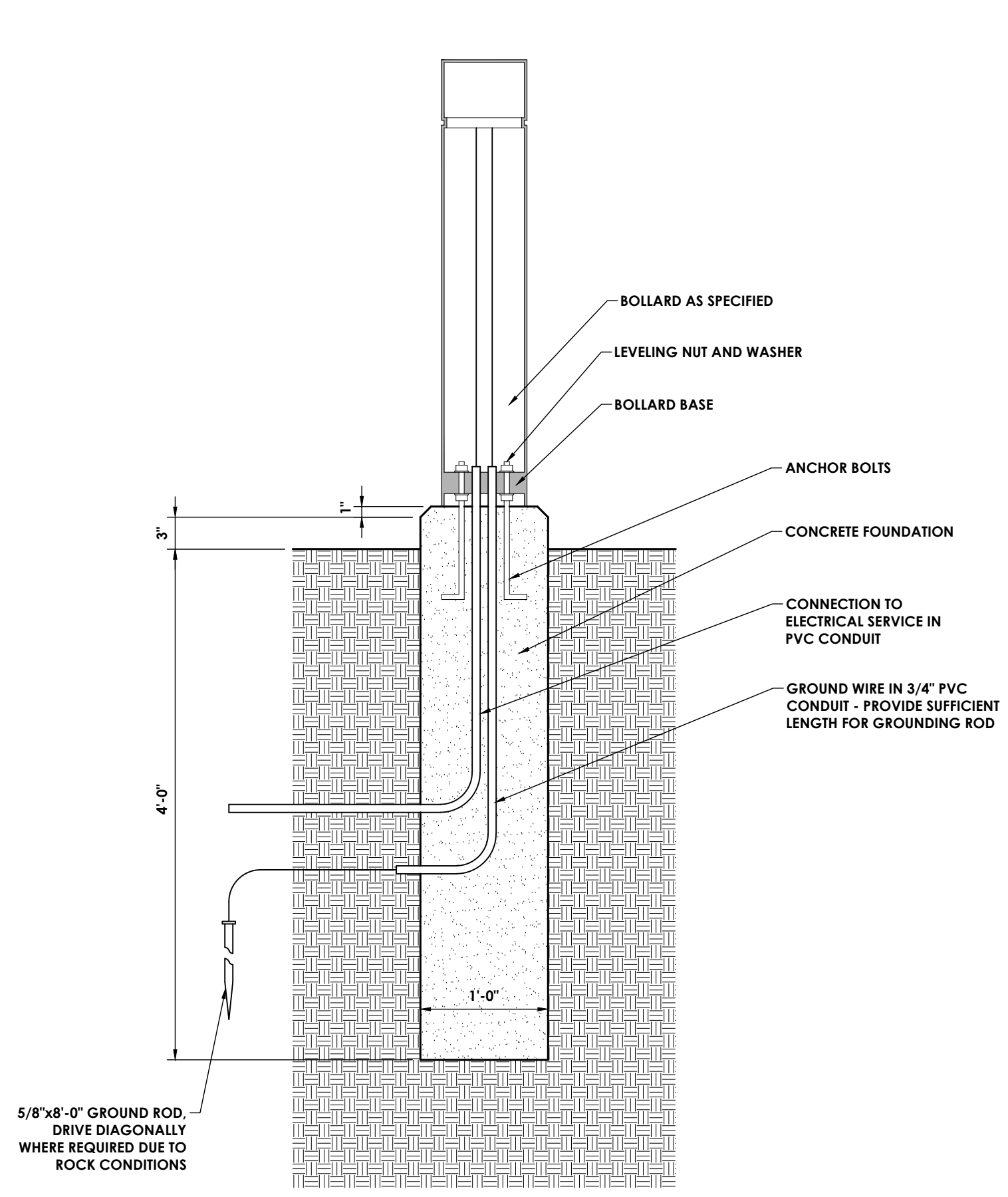
W1AB1 Anchor bolts for KBC LED¹⁸

NOTES

- Only available in the 12C, ASY version.
- Only available in the 16C, SYM version.
- Only available with 450 AMBW version.
- Not available with E1CW.
- MVOLT drive operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (DF, DF optional, or photocontrol (PE) option).
- Not available with 347V. Not available with fusing. Not available with 450 AMBW.
- Single fuse (SF) requires 120, 277, or 347 voltage option. Double fuse (DF) requires 208 or 240 voltage option.
- W1AB1 not available with L1AB4 option.

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**BOLLARD FOUNDATION
N.T.S.**



ADDITIONAL POLE FEATURES:

- PROVIDE WEATHERPROOF RECEPTACLE AND COVER.
- PROVIDE UPLIGHT SHIELD.

NOTES:

- ELECTRICAL CONTRACTOR TO DETERMINE SIZE OF CONDUIT REQUIRED TO COMPLETE THE INSTALLATION.
- PROVIDE 2 COPIES OF SHOP DRAWINGS FOR BASE, POLE, AND FIXTURE TO ENGINEER FOR APPROVAL PRIOR TO ORDERING MATERIAL.

TYPICAL CONCRETE LIGHT BASE & POLE DETAIL
N.T.S.

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 Date last accessed: 4/28/2026 10:07 AM
 Date last plotted: 4/28/2026 10:07 AM
 Plotted By: Christian Moore



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Poughkeepsie, NY 12601
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PROJECT INFORMATION
Project Number
15066.00
Client Name
HUDSON RIVER HOUSING
Project Name
WINDOWS ON MAIN
Project Address
488 MAIN STREET POUGHKEEPSIE, NY 12601

PROJECT ISSUE & REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	8/19/2025	REVISED ALL SHEETS
2	8/20/2025	REVISED SITE PLAN
3	9/10/2025	REVISED SITE PLAN
4	11/11/2025	CITY OF POUGHKEEPSIE REVIEW COMMENTS ON 05/28/25
5	12/02/2025	REVISIONS TO IMPROVING AND BUILDING FOOTPRINT
6	4/27/2026	REVISED ALL SHEETS

PROFESSIONAL STAMPS

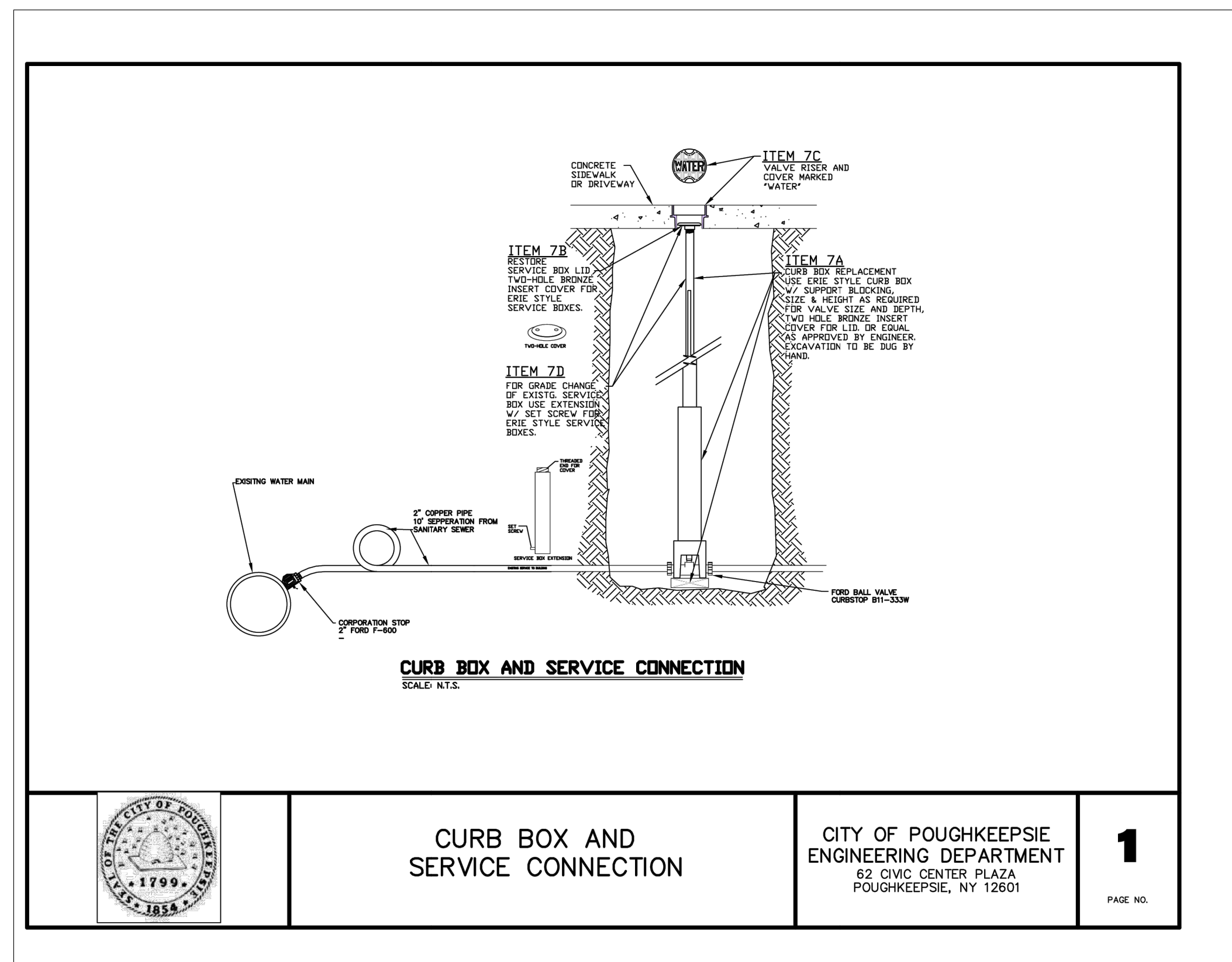
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NEW YORK STATE EDUCATION STATUTE
THE BOARD OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER
REGULATE ANY PRACTICE INVOLVING THE DESIGN OR CONSTRUCTION OF A PROJECT
ARCHITECTS REGISTERED UNDER ARTICLE 135-A OF THE EDUCATION LAW. AN ARCHITECT
REGISTERED UNDER ARTICLE 135-A OF THE EDUCATION LAW IS NOT PERMITTED TO
PERFORM ANY DESIGN OR CONSTRUCTION OF A PROJECT UNLESS HE OR SHE IS LICENSED
BY THE BOARD AND THE DATE OF SUCH LICENSE AND A PROFESSIONAL DESIGNER IS
REGISTERED UNDER ARTICLE 135-A OF THE EDUCATION LAW.

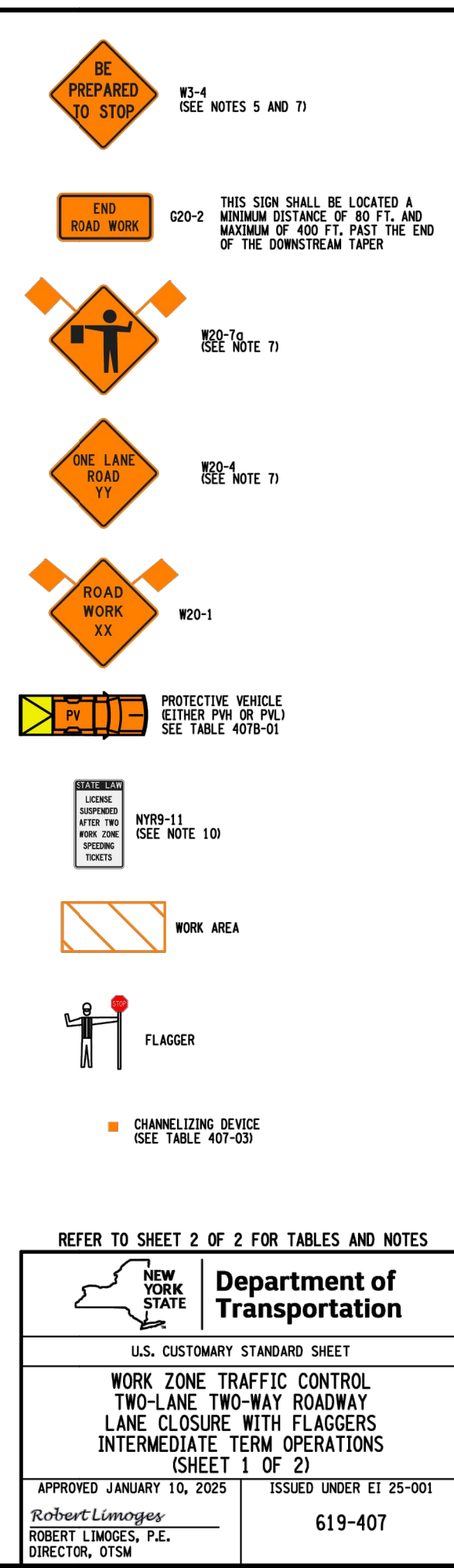
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DETAILS 7

Drawing Number

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C306



CITY OF POUGHKEEPSIE CURB BOX AND SERVICE CONNECTION DETAIL
N.T.S.



REFER TO SHEET 2 OF 2 FOR TABLES AND NOTES

Department of Transportation
U.S. CUSTOMARY STANDARD SHEET
WORK ZONE TRAFFIC CONTROL
TWO-LANE TWO-WAY ROADWAY
LANE CLOSURE WITH FLAGGERS
INTERMEDIATE TERM OPERATIONS
(SHEET 1 OF 2)
APPROVED JANUARY 10, 2025 ISSUED UNDER EIT 25-001
Robert Limoges, P.E. DIRECTOR, OTSM 619-407

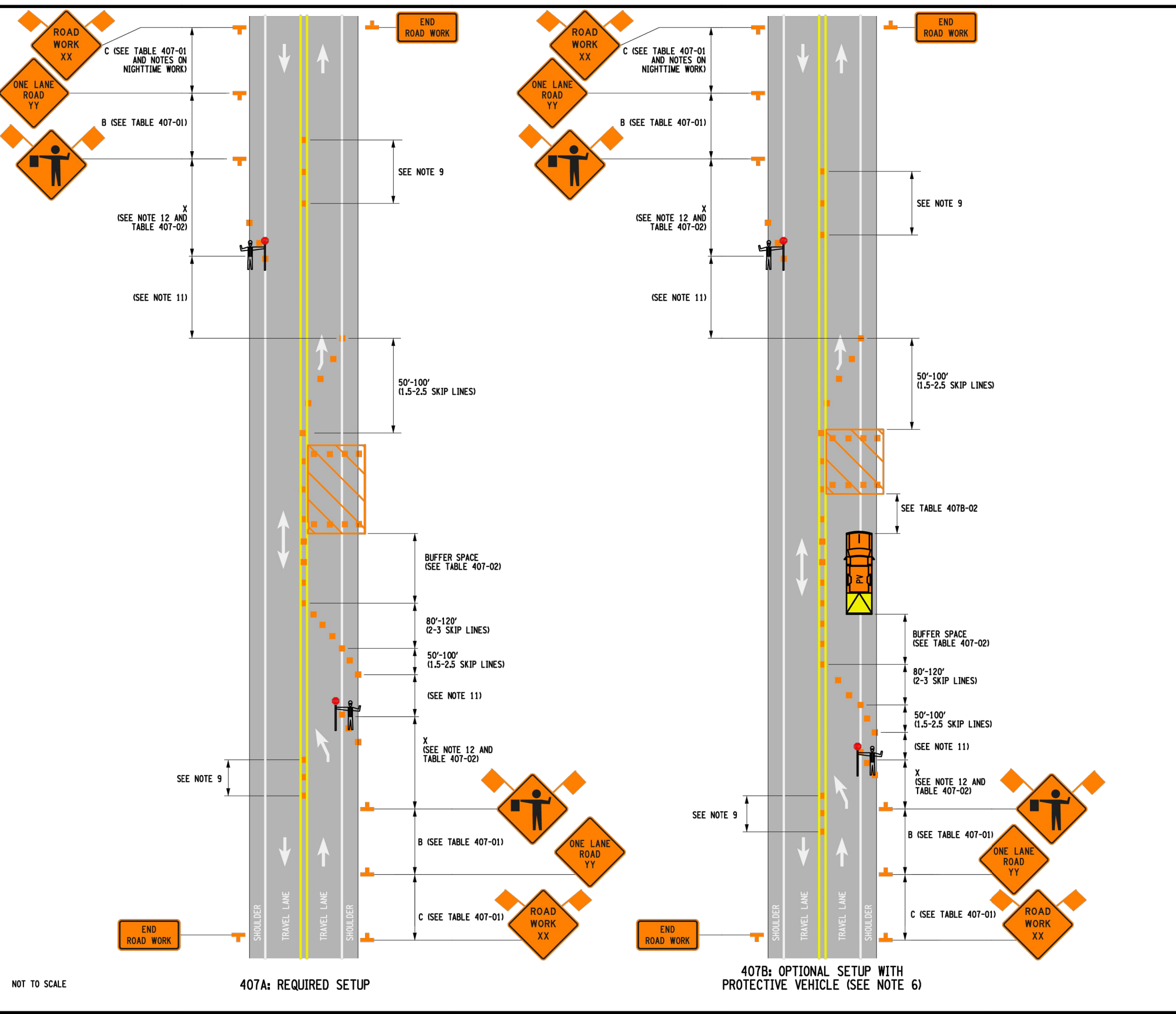


TABLE 407-01: ADVANCE WARNING SIGN SPACING

ROAD TYPE	DISTANCE BETWEEN SIGNS		SIGN LEGEND	
	A (FT.)	B (FT.)	XX	YY
URBAN (30 MPH)	100	100	AHEAD	AHEAD
URBAN (35-40 MPH)	200	200	AHEAD	AHEAD
URBAN (45 MPH)	350	350	1000 FT. AHEAD	AHEAD
RURAL	500	500	1500 FT.	1000 FT.

* PRECONSTRUCTION POSTED SPEED LIMIT

TABLE 407-02: LONGITUDINAL BUFFER SPACE / STOPPING SIGHT DISTANCE

PRECONSTRUCTION POSTED SPEED LIMIT (MPH)	LONGITUDINAL BUFFER SPACE DISTANCE (FT.) ¹ OF SKIP LINES
25	155/4
30	200/5
35	250/6
40	305/8
45	360/9
50	425/11
55	495/13

TABLE 407-03: CHANNELIZING DEVICE APPLICATION FOR INTERMEDIATE-TERM STATIONARY WORK ZONES

WORK ZONE PROVISIONS	MINIMUM ROLL AHEAD DISTANCE (FT.) ¹ OF SKIP LINES	STANDARD CONES	TAIL CONES	EXTRA TAIL CONES	TEMPORARY TUBULAR MARKERS	INTERLUR MARKERS	VERTICAL PANELS	CHANNELIZING DEVICES	TYPE III BARRICADES
INTERMEDIATE-TERM STATIONARY WORK ZONES INVOLVE WORK THAT OCCUPIES A LOCATION FOR MORE THAN 1 DAYLIGHT PERIOD UP TO 3 CONSECUTIVE DAYS, OR NIGHTTIME WORK THAT OCCUPIES A LOCATION FOR MORE THAN 1 HOUR									
SHOULDER/MERGING/SHIFTING TAPERS	20 FT. *	X						X	
MARKING FOR TRANSVERSE BUMPS ¹	N/A	X ²		X ²				X ²	
TRANSVERSE DEVICE WITHIN CLOSED TRAFFIC LANE AND/OR SHOULDER	800 FT.	X	X	X			X	X	0
REMOVAL OF EXISTING GUIDE RAIL	80 FT.	X	X	X			X	X	0

NOTES: X= ALLOWED, BLANK = NOT ALLOWED, 0 = OPTIONAL
1. - A TYPE I OBJECT MARKER MAY BE USED IN LIEU OF CHANNELIZING DEVICE.
2. - CHANNELIZING DEVICES SHALL BE EQUIPPED WITH A FLASHING WARNING LIGHT.

TABLE 407-04: REQUIRED SIGN SIZES*

SIGN	NON-FREEMAY	FREEMAY
G20-2	36x18	48x24
W3-4	36x36	48x48
W20-1	36x36	48x48
W20-4	36x36	48x48
W20-7	36x36	48x48
WORKING FLAG	18x18	18x18

*FREEMAY SIZES MAY BE USED ON NON-FREEMAY, IF SPACE CONSTRAINTS DO NOT EXIST.

TABLE 407B-01: PROTECTIVE VEHICLE REQUIREMENTS

CLOSURE TYPE	ROAD TYPE & SPEED	NON-FREEMAY	
		2.45 MPH	35 - 40 MPH
LANE CLOSURE OR ENCROACHMENT	WORKERS ON FOOT OR WORK VEHICLE EXPOSED TO TRAFFIC (SEE NOTE 1)	PH+TMA	PVL+TMA
	NO WORKERS ON FOOT OR WORK VEHICLE EXPOSED TO TRAFFIC (EQUIPMENT, MATERIALS)	PH+TMA	SEE NOTE 2
SHOULDER CLOSURE OR ENCROACHMENT	WORKERS ON FOOT OR WORK VEHICLE EXPOSED TO TRAFFIC	PH+TMA	SEE NOTE 2
	NO WORKERS ON FOOT OR WORK VEHICLE EXPOSED TO TRAFFIC (EQUIPMENT, MATERIALS, EXCAVATION)	SEE NOTE 3	SEE NOTE 2

LEGEND:
PH+ = PROTECTIVE VEHICLE LIGHT MINIMUM GROSS WEIGHT 9,500 LBS. OR GREATER (SEE NOTE 4)
PVL+ = PROTECTIVE VEHICLE HEAVY MINIMUM GROSS WEIGHT 22,000 LBS. OR GREATER
TMA = TRUCK/TRAILER MOUNTED IMPACT ATTENUATOR

NOTES:
1. THE EXPOSURE CONDITIONS ASSUME THERE IS NO POSITIVE PROTECTION PRESENT.
2. EITHER A PROTECTIVE VEHICLE LIGHT (PVL) OR THE STANDARD BUFFER SPACE (SEE TABLE 407-02) SHALL BE PROVIDED.
3. TRUCK/TRAILER MOUNTED IMPACT ATTENUATORS (TMA) SHALL NOT BE MOUNTED/INSTALLED ON VEHICLES WITH A GROSS VEHICLE WEIGHT (GVW) LESS THAN WHAT IS MINIMALLY REQUIRED BY THE MANUFACTURER OF THE TMA.
4. THE USE OF A PROTECTIVE VEHICLE LIGHT (PVL) AS A SHADOW VEHICLE IS LIMITED TO NON-FREEMAY ROADWAYS WHERE THE POSTED SPEED LIMITS IS ≤ 40 MPH UNLESS OTHERWISE AUTHORIZED BY THE ENGINEER.

TABLE 407B-02: ROLL AHEAD DISTANCE FOR PROTECTIVE VEHICLES

POSTED SPEED LIMIT (MPH)	STATIONARY OPERATION	
	PROTECTIVE VEHICLES WEIGHING 9,500 TO 21,999 LBS. GVW	PROTECTIVE VEHICLES WEIGHING 22,000 LBS. OR GREATER GVW
45 - 55	160/4	120/3
≤ 40	120/3	80/2

- NOTES FOR NIGHTTIME OPERATIONS:
- WORK OCCURRING AFTER SUNSET AND BEFORE SUNRISE WILL BE CONSIDERED NIGHTTIME OPERATIONS.
 - ALL SIGNS, STOP / SLOW PADDLES AND RED FLASCS USED TO WARN / ALERT / CONTROL TRAFFIC SHALL BE RETROREFLECTIVE.
 - ALL WORKERS INVOLVED SHALL WEAR PROTECTIVE HELMET AND NIGHTTIME APPAREL IN ACCORDANCE WITH DOT-SHA HIGH VISIBILITY APPAREL AT ALL TIMES. HIGH VISIBILITY APPAREL MEETING THE REQUIREMENTS OF SECTION 63.04 OF THE 2023 MUTCD FOR CLASS 3 HIGH VISIBILITY APPAREL IS ALSO ACCEPTABLE AND RECOMMENDED.
 - VEHICLES OPERATING ON THE PAVEMENT OF A CLOSED ROADWAY OR TRAVEL LANE SHALL DISPLAY ROTATING AMBER BEACONS AT ALL TIMES.
 - LEVEL 1 ILLUMINATION SHALL BE PROVIDED NEAR THE BEGINNING OF LANE CLOSURE TAPERS AND AT ROAD CLOSURES, INCLUDING THE SETUP AND REMOVAL OF THE CLOSURE TAPERS.
 - LEVEL 2 ILLUMINATION SHALL BE PROVIDED FOR FLAGGING STATIONS, ASPHALT PAVING, MILLING, AND CONCRETE PAVEMENT AND/OR REMOVAL OPERATIONS INCLUDING BRIDGE DECKS, 50 FEET AHEAD OF AND 100 FEET BEHIND A PAVING OR MILLING MACHINE.
 - LEVEL 3 ILLUMINATION SHALL BE PROVIDED FOR PAVEMENT OR STRUCTURAL CRACK FILLING, JOINT REPAIR, PAVEMENT PATCHING AND REPAIRS, INSTALLATION OF SIGNAL EQUIPMENT OR OTHER ELECTRICAL, MECHANICAL, AND OTHER TASKS INVOLVING FINE DETAILS OR INTRICATE PARTS AND EQUIPMENT.
 - ALL LIGHTING SHALL BE DESIGNED, INSTALLED, AND OPERATED TO AVOID GLARE THAT AFFECTS TRAFFIC ON THE ROADWAY OR THAT CAUSES ANNOYANCE OR DISCOMFORT FOR RESIDENCES ADJOINING THE ROADWAY.
 - PRIOR TO THE START OF NIGHTTIME OPERATIONS, A WRITTEN NIGHTTIME OPERATIONS AND LIGHTING PLAN IS REQUIRED FOR APPROVAL FROM THE DOT ENGINEER.
 - SEE STANDARD SPECIFICATIONS §619 FOR ADDITIONAL REQUIREMENTS AND CONSIDERATIONS.
 - FLAGGERS SHALL USE A FLASHLIGHT WITH A RED GLOW CONE/RED LED BATON FOR FLAGGING IN NON-ILLUMINATED FLAGGING STATIONS DURING NIGHTTIME OPERATIONS.

Department of Transportation
U.S. CUSTOMARY STANDARD SHEET
WORK ZONE TRAFFIC CONTROL
TWO-LANE TWO-WAY ROADWAY
LANE CLOSURE WITH FLAGGERS
INTERMEDIATE TERM OPERATION
(SHEET 2 OF 2)
APPROVED JANUARY 10, 2025 ISSUED UNDER EIT 25-001
Robert Limoges, P.E. DIRECTOR, OTSM 619-407

NOTE: CONTRACTOR TO COORDINATE ALL LANE CLOSURES, SHIFTS, AND DETOURS WITH THE FIRE DEPARTMENT WHICH IS LOCATED DIRECTLY ACROSS THE STREET (505 MAIN STREET, POUGHKEEPSIE, NY 12601).

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DATE PLOTTED = 6/24/25 10:07 AM

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DATE PLOTTED = 6/24/25 10:07 AM

Printed By: Christian Moore

Date last plottted: 4/28/2026 10:07 AM

Date last accessed: 4/28/2026 10:07 AM

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NYS DOT ROW TRAFFIC MAINTENANCE & PROTECTION PLANS AND NOTES
N.T.S.

GENERAL:

1. BEFORE BEGINNING ANY WORK, ALL UTILITIES AND UNDERGROUND CONSTRUCTION SHALL BE LOCATED BY THE LANDSCAPE CONTRACTOR SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DISTURB OR DAMAGE ANY SUBSURFACE IMPROVEMENTS, WHERE PUBLIC UTILITIES ARE PRESENT, THE LANDSCAPE CONTRACTOR SHALL REQUEST ON-SITE LOCATIONS BY ALL UTILITY COMPANIES AND CONFIRM THAT SUCH LOCATIONS HAVE BEEN COMPLETED. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MAKING, AT HIS OWN EXPENSE, ALL REPAIRS TO DAMAGED UTILITIES RESULTING FROM WORK COVERED BY THIS CONTRACT.

2. THE CONTRACTOR'S PRICE SHALL INCLUDE ALL LABOR AND MATERIAL NECESSARY TO COMPLETE THE WORK, INCLUDING BUT NOT LIMITED TO, MULCH, PLANTING MATERIAL, SOIL MIX, STAKING MATERIAL, WATERING, MAINTENANCE DURING CONSTRUCTION, GROUND CULTIVATION TO A MINIMUM DEPTH OF 6 INCHES OR AS INDICATED ON PLANS FOR PLANTING BEDS AND SOD AREAS, ETC.

3. GROUND CULTIVATION INCLUDES SCALPING AND REMOVING EXISTING VEGETATION DOWN TO THE SUB-GRADE. ROTOTIL 3 INCHES OF ADDITIVES SUCH AS TOP SOIL, SAND OR COMPOST (PER SOIL TEST ANALYSIS INTO THE SUBGRADE TO BREAK THROUGH AND REMOVE ALL HARDPAN, ROCKS AND DEBRIS. THIS WILL ALLOW PERCOLATION AND POSITIVE DRAINAGE. IF A ROTOTILLER IS NOT SUFFICIENT TO BREAK UP THE SUBGRADE, THE CONTRACTOR IS RESPONSIBLE FOR ADDITIONAL EQUIPMENT NEEDED TO COMPLETE THE WORK AT NO ADDITIONAL EXPENSE TO THE OWNER.

4. CONTRACTOR SHALL PROVIDE INVOICES OF ALL PLANT MATERIAL TO OWNER AND LANDSCAPE ARCHITECT DURING CONSTRUCTION.

5. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN BEST MANAGEMENT PRACTICES TO PREVENT AND MINIMIZE EROSION AND SEDIMENTATION. BMPs SHALL BE CONSISTENT WITH, AND NO LESS STRINGENT THAN, THOSE PRACTICES CONTAINED IN THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION.

6. IN CONFORMANCE WITH GDOT STANDARD SPECIFICATIONS, PLANT INSTALLATION SHALL OCCUR BETWEEN THE DATES OF OCTOBER 15 AND MARCH.

7. THE LANDSCAPE CONTRACTOR SHALL IMPLEMENT ALL MEASURES REQUIRED BY THE CITY OF POUGHKEEPSIE.

8. THE LANDSCAPE CONTRACTOR SHALL TAKE MEASURES TO PREVENT DUST, MUD, EQUIPMENT MARKS, ETC FROM SOILING AND DAMAGING IMPROVEMENTS. ANY DAMAGE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

9. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL MATERIAL QUANTITIES SHOWN ON THESE DRAWINGS BEFORE PRICING THE WORK, AND WILL BE RESPONSIBLE FOR INSTALLATION OF PLANT MATERIAL ACCORDING TO PLANS. THE PLANT SCHEDULE IS PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY.

10. PROVIDE PLANT MATERIALS TRUE TO SPECIES AND VARIETY COMPLYING WITH RECOMMENDATIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERY MEN.

11. PLANTING PLANS INDICATE DIAGRAMMATIC LOCATIONS ONLY. SITE ADJUSTMENTS OF PLANTING DESIGN AND RELOCATION OF PLANT MATERIAL INSTALLED PRIOR TO DESIGN PROFESSIONAL OR OWNER'S REPRESENTATIVE'S APPROVAL SHALL BE DONE WITHOUT PENALTY OR ADDITIONAL COST TO OWNER. STAKE PLANT LOCATIONS AT SITE AND OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL PRIOR TO PLANT INSTALLATION.

ELIMINATION OF EXISTING VEGETATION AND REPLACEMENT WITH PROPOSED VEGETATION:

1. THIS PROJECT MAY REQUIRE THE ELIMINATION OF EXISTING VEGETATION IN ORDER TO INSTALL LANDSCAPING AS SHOWN ON PLANS. EXISTING VEGETATION CONSISTS OF VARIOUS TURF GRASSES AND WEEDS. IF SO, THE CONTRACTOR SHALL ELIMINATE EXISTING VEGETATION BY SPRAYING WITH 2 SEPARATE APPLICATIONS OF ROUNDUP HERBICIDE (GLYPHOSATE), OR APPROVED EQUAL PER MANUFACTURERS RECOMMENDATIONS. THE FIRST HERBICIDE APPLICATION SHALL OCCUR ON THE ENTIRE PROJECT AREA AFTER WINTER DORMANCY WHEN THERE IS SIGNIFICANT ACTIVE GROWTH OF GRASSES AND WEEDS. THE OPTIMAL TIME FOR THIS HERBICIDE APPLICATION IS THE FIRST WEEK IN APRIL. THE SECOND APPLICATION SHALL OCCUR ON ALL PROPOSED REVEGETATED AREAS WHEN THERE IS SIGNIFICANT ACTIVE GROWTH AFTER THE FIRST HERBICIDE APPLICATION. THE SECOND APPLICATION SHALL OCCUR AT LEAST 4 WEEKS (28 DAYS) AFTER THE FIRST APPLICATION. BOTH SPRAYINGS SHALL OCCUR ON ALL LANDSCAPE MEDIAN AREAS. SUBSEQUENT INSTALLATION WORK SHALL BE DIVIDED INTO PHASES AS DELINEATED ON THE PLANS.

2. CONTRACTOR SHALL COMMENCE EACH PHASE BY SCALPING (MOWING AS CLOSELY TO THE SOUND AS POSSIBLE) ALL EXISTING VEGETATION WITHIN THE LIMITS OF DISTURBANCE FOR THAT PHASE. THE CONTRACTOR SHALL NOT SCALP UNTIL AT LEAST 10 DAYS HAVE PASSED FOLLOWING THE FINAL HERBICIDE APPLICATION. PLANTING OPERATIONS SHALL OCCUR IMMEDIATELY FOLLOWING THE SCALPING OF THE EXISTING VEGETATION. THE CONTRACTOR SHALL COMPLETE ALL WORK ON A PHASE AND SHALL HAVE THAT WORK INSPECTED AND APPROVED BY AN AUTHORIZED REPRESENTATIVE OF THE CITY OF CITY OF POUGHKEEPSIE PRIOR TO COMMENCING WORK ON ANY OTHER PHASE.

NURSERY STOCK SELECTION:

1. PLANTS SHALL BE WATERED PRIOR TO TRANSPORTATION AND SHALL BE KEPT MOIST UNTIL PLANTED. ALL PLANTS SHALL BE PROTECTED FROM DESICCATION DURING DELIVERY WITH A PROTECTIVE COVERING OR ENCLOSED TRUCK.

2. PLANTS SHALL BE SPECIMEN QUALITY, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF DISEASES, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS AND/OR DISFIGUREMENT.

3. HEIGHT AND SPREAD DIMENSIONS SPECIFIED REFER TO THE MAIN BODY OF THE PLANT AND NOT FROM BRANCH TIP TO TIP. IF A RANGE OF SIZE IS GIVEN, NO PLANT SHALL BE LESS THAN THE MINIMUM SIZE AND NOT LESS THAN 50 PERCENT OF THE PLANTS SHALL BE AS LARGE AS THE MAXIMUM SIZE SPECIFIED.

4. HARDWOOD TREES SHALL HAVE STRAIGHT TRUNKS WITH CENTRAL LEADERS. DO NOT HANDLE PLANTS BY THE TRUNK.

5. PLACE PLANTS UPRIGHT AND TURNED SO THAT THE MOST ATTRACTIVE SIDE IS VIEWED.

6. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.

7. ALL NEWLY PLANTED TREES SHALL HAVE VISIBLE ROOT FLARES AT FINISHED GRADE. NO CIRCLING ROOTS SHALL BE ALLOWED ON PLANTED TREES. THE UPPER TWO RINGS OF THE WIRE BASKET, ALL BURLAP, AND STRAPPINGS MUST BE CUT AND REMOVED PRIOR TO BACKFILL.

8. TREES LESS THAN THE CALIPER INCH SHOWN ON THE PLANS WILL NOT BE ACCEPTED.

9. PLANT HEIGHT MEASUREMENT IS TAKEN AT THE TOP OF THE MAIN BODY OF THE PLANT AND NOT AT THE TIP OF THE TOP MOST GROWTH.

11. SEE CROWN AND ROOT OBSERVATIONS DETAILS ON LANDSCAPE DETAILS SHEETS.

PLANTING SOIL MIX:

1. CONTRACTOR SHALL SUPPLY TOP SOIL AND PLANTING SOIL MIX.

2. THE CONTRACTOR SHALL SUPPLY A SOIL REPORT THROUGH THE LOCAL EXTENSION SERVICE OF EXISTING SOILS TO SHOW RECOMMENDED AMENDMENTS.

3. THE CONTRACTOR SHALL SUPPLY A SECOND SOIL REPORT OF PROPOSED SOIL MIX WHICH SHALL MEET THE RECOMMENDATIONS IN THE FIRST SOIL REPORT.

4. EXISTING AND PROPOSED SOIL REPORTS MUST BE APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE PRIOR TO ANY BACKFILLING.

5. THE PROPOSED PLANTING SOIL MIX MUST BE APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE PRIOR TO ANY BACKFILLING.

ALLOWANCES:

6. THE PLANTING SOIL MIX FOR ON-GRADE PLANTINGS (TREES, SHRUBS & GROUND COVERS) SHALL CONSIST OF THE FOLLOWING:
80% SANDY LOAM TOPSOIL (AS SPECIFIED AND AMENDED PER SOIL REPORT)
20% PREPARED ADDITIVES SHALL BE PER SOIL REPORT OR BY VOLUME AS FOLLOWS:
2 PARTS HUMUS AND/OR PEAT
1 PART STERILIZED COMPOSTED COW MANURE
1 PART SHREDDED, COMPOSTED HARDWOOD MULCH

7. PLANTING SOIL MIX FOR PERENNIAL BEDS CONSIST OF THE FOLLOWING:

70% SANDY LOAM TOPSOIL (AS SPECIFIED AND AMENDED PER SOIL REPORT)
30% PREPARED ADDITIVES SHALL BE PER SOIL REPORT OR BY VOLUME AS FOLLOWS:
2 PARTS HUMUS AND/OR PEAT
1 PARTS SHREDDED, COMPOSTED HARDWOOD MULCH
1 PART (50% STERILIZED COMPOSTED COW MANURE AND 50% ANGULAR BUILDERS SAND)

8. GYPSUM, LIME AND COMMERCIAL FERTILIZER SHALL ONLY BE USED AS PRESCRIBED IN THE SOIL REPORT.

9. ALLOWANCES SUBJECT TO CHANGE BASED ON SOIL REPORT.

WATERING AND IRRIGATION:

1. WATERING AFTER INSTALLATION AND WATER TRANSPORTATION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

2. USE OF TREE CAMEL, OOZE TUBES OR TREE GATOR BAGS FOR TREES ARE ACCEPTABLE.

3. MULCH SHOULD BE INSPECTED EVERY 3 MONTHS TO ENSURE A DEPTH OF 4-INCHES AND REPLENISHED WHERE NECESSARY.

4. INSTALLATION OF A PERMANENT IRRIGATION SYSTEM IS NOT PROPOSED. THE CONTRACTOR MAY CHOOSE TO INSTALL A TEMPORARY IRRIGATION SYSTEM IN ORDER TO ESTABLISH INSTALLED PLANT MATERIAL. SUBMIT A PLAN FOR A TEMPORARY SYSTEM TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION, AND OBTAIN APPROVAL AS WARRANTED BY ALL GOVERNING AGENCIES HAVE JURISDICTION. THE SYSTEM SHALL BE DESIGNED TO PROVIDE FULL AND COMPLETE COVERAGE TO ALL LANDSCAPED AREAS OF THE SITE INDICATED ON THE LANDSCAPE PLAN.

5. ALL MATERIALS USED IN THE DESIGN OF THE TEMPORARY SYSTEM, INCLUDING SPRINKLER HEADS, VALVES, VALVE BOXES, CONTROLLERS, PUMPS, BACKFLOW PREVENTORS, RAIN AND FREEZE SENSORS, DRIP EQUIPMENT, WIRE, ELECTRICAL CONNECTIONS, AND PVC PIPE AND FITTINGS, SHALL MEET MINIMUM INDUSTRY STANDARDS, MANUFACTURER AND MODEL MUST BE SPECIFIED.

6. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY SYSTEM AFTER SUBSTANTIAL COMPLETION IS OBTAINED.

7. IF NO TEMPORARY SYSTEM IS PROPOSED, THE CONTRACTOR SHALL DEVELOP A SCHEDULE FOR MANUAL WATERING OF PLANTS. THIS SCHEDULE SHOULD BE INCLUDED IN ANY MAINTENANCE AGREEMENT AND/OR BONDING OF LANDSCAPE MATERIAL AND SHOULD INDICATE THE PARTY RESPONSIBLE FOR PERFORMING THE MANUAL WATERING. THE DURATION OF THE SCHEDULE OF MANUAL WATERING SHOULD BE EQUAL TO THE DURATION OF THE BOND PERIOD OR 12 MONTHS STARTING FROM THE INSTALLATION DATE, WHICHEVER IS GREATER. THE SCHEDULE SHOULD ALSO INDICATE THE AMOUNT OF WATER TO BE APPLIED PER WEEK. THE FOLLOWING IRRIGATION RATES ARE OFFERED AS A GUIDELINE; HOWEVER, THE SUPPLIER OF THE LANDSCAPE MATERIAL SHOULD BE CONSULTED FOR THEIR RECOMMENDATIONS.

TREES: SHOULD BE WATERED DAILY FOR MONTH 1, EVERY OTHER DAY FOR MONTHS 2-4, AND WEEKLY FOR MONTHS 5-12. APPLY 8 GALLONS PER 4" CALIPER TREE PER APPLICATION. ADJUST RATE TO LOCAL RAINFALL AMOUNT. (ASSUME 30 GALLONS PER TREE FOR EVERY INCH OF RAINFALL).

SHRUBS: SHOULD BE WATERED DAILY FOR MONTH 1, EVERY OTHER DAY FOR MONTHS 2-4, AND WEEKLY FOR MONTHS 5-12. APPLY 1 GALLON PER SHRUB PER APPLICATION. ADJUST RATE TO LOCAL RAINFALL AMOUNT. (ASSUME 2 GALLONS PER SHRUB FOR EVERY INCH OF RAINFALL)

TURF: SHOULD RECEIVE 1-INCH OF IRRIGATION PER WEEK APRIL THROUGH SEPTEMBER, 1 1/2-INCH OF IRRIGATION OCTOBER THROUGH MARCH. ADJUST RATE TO LOCAL RAINFALL AMOUNT.

NATIVE GRASS BEDS: WATER EVERY OTHER DAY FOR THE FIRST MONTH. ONLY CONTINUE WATERING AFTER THAT ONLY DURING EXTENDED OR FORECASTED DRY PERIODS, AND THEN, ONLY ONCE PER WEEK.

SOD:

1. GROUND TO BE CULTIVATED AS INDICATED TO A MINIMUM DEPTH OF 6 INCHES PRIOR TO SOD INSTALLATION. IN AREAS TO RECEIVE SOD ONLY, CONTRACTOR SHALL REMOVE THE SCALPED CLIPPINGS EITHER DURING SCALPING OR AFTER THE EXISTING GRASS IS SCALPED. CONTRACTOR SHALL ADD PELLETIZED LIME TO THESE AREAS AT A RATE OF 220 LBS/ACRE (6 LBS/1,000 SF). CONTRACTOR SHALL THEN AERATE THE AREAS WITH A CORE AERATOR, IMMEDIATELY PRIOR TO SOD INSTALLATION, CONTRACTOR SHALL RAKE THE SOIL (EITHER MANUALLY OR USING A POWER RAKE) TO A DEPTH OF 1", MIXING THE PREVIOUSLY ADDED LIME INTO THE EXISTING SOIL AND BREAKING UP CORES. CONTRACTOR SHALL ONLY RAKE THE AREAS WHICH ARE TO BE SODDED THAT DAY.

2. SOD SHALL BE STRONGLY ROOTED, 2 YEAR OLD STOCK. THE SOD SHALL BE TOP QUALITY CERTIFIED SOD, FREE OF WEEDS, UNDESIRABLE NATIVE GRASSES, INSECTS AND DISEASES, AND UNIFORM IN THICKNESS. PROVIDE CERTIFICATION TAG TO OWNER. ALL SOD SHALL BE MACHINE CUT AND VIGOROUSLY GROWING (NOT DORMANT)

3. LAY SOD WITHIN 24 HOURS FROM TIME OF STRIPPING. DO NOT PLANT DORMANT SOD OR IF GROUND IS FROZEN.

4. LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAP.

5. IN SLOPING AREAS, SOD SHALL BE LAID WITH THE LONG EDGES PARALLEL TO THE CONTOURS AND WITH JOINTS STAGGERED.

SOD CONTINUED:

6. SOD SHALL BE SECURED IN-PLACE WITH STAPLES ON SLOPES GREATER THAN 3:1.

7. STAPLES FOR SOD STAKING SHALL BE NO. 11 GAUGE STEEL WIRE, U-SHAPED WITH LEGS 12 INCHES IN LENGTH AND 1" CROWN. STAPLES SHALL BE PLACED AT INTERVALS NO GREATER THAN 2' ON CENTER. TOP OF STAKES SHALL BE DRIVEN FLUSH WITH SOD AS NOT TO INTERFERE WITH MOWING OPERATIONS.

8. TAMP OR ROLL TO INSURE CONTACT WITH SOIL. WORK SIFTED SOIL INTO MINOR CRACKS BETWEEN PIECES OF SOD. REMOVE EXCESS SOIL TO AVOID SMOTHERING OF ADJACENT GRASS.

9. CONTRACTOR SHALL REMOVE NETTING FROM THE BACK OF SOD PRIOR TO INSTALLATION.

10. SOD SHALL BE WATERED IMMEDIATELY AFTER ROLLING OR TAMPING.

INSTALLATION:

1. INSTALL TREES PLUMB. DO NOT DEPEND ON STAKING TO PULL PLANTS TO PLUMB POSITION.

2. MULCH: PROVIDE 4" THICKNESS MULCH AT ALL PLANTS AND PLANTING BEDS. UTILIZE SHREDDED, AGED HARDWOOD MULCH.

4. LEAVES: MUST BE OF MEDIUM FOLIAGE, ALL GOOD LEAVES, MAXIMUM OF 10% CHLOROSIS ALLOWED, WITH NO EXTREME SUCCEULENCE.

5. IF DRAINAGE IS NOT SUFFICIENT NOTIFY PROJECT OWNER'S REPRESENTATIVE IN WRITING BEFORE INSTALLING THE PLANTS, OTHERWISE CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR THE GUARANTEE AND LIVABILITY OF THE PLANT.

6. UNLESS OTHERWISE SPECIFIED DUE TO SOIL CONDITIONS, SET ROOT FLARE OF ROOTBALL LEVEL WITH SURROUNDING GRADE. ROOT SYSTEM SHALL BE AS SPECIFIED IN PLANT SCHEDULE:

BALLED AND BURLAPPED:

ROOTS MUST BE STURDILY ESTABLISHED IN BALL THAT HAS BEEN TIGHTLY WRAPPED AND SECURELY TIED WITH TWINE OR WIRE, OR PINNED, WHERE WIRE BASKETS ARE USED ON TREES OR SHRUBS, CUT BURLAP AND WIRE BACK TO 1/4 THE BASE OF ROOTBALL AND REMOVE FROM PLANTING HOLE. REMOVE ALL STRAPS, WIRE STRAP HANGERS, ETC. FROM ROOTBALL. DO NOT ALLOW REMAINING WIRE TO PROTRUDE INTO MULCH OR TOPSOIL AREAS.

CONTAINER GROWN:

CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING DESIGN PROFESSIONAL OF ROOT BOUND SPECIMENS. REMOVE CONTAINER AND SCARIFY OR SHAVE ROOTBALL AS NEEDED TO REMEDIATE ROOT BOUND CONDITION. PULL SURFACE ROOTS AT TOP OF ROOTBALL OUT IN A DIRECTIONAL PATTERN TO DISCOURAGE CIRCLING ROOTS.

7. STAKING IS ONLY TO BE INSTALLED IN SPECIAL CIRCUMSTANCES AT THE DIRECTION OF THE DESIGN PROFESSIONAL. ANY STAKING MATERIAL MUST BE REMOVED AT THE END OF THE WARRANTY PERIOD.

8. ALL TREES MUST BE PLANTED A MINIMUM OF 5 FEET FROM ANY UTILITY LINE AND/OR EASEMENT. ALL UTILITIES (WATER, SEWER, GAS, FIBER OPTIC, ETC.) MUST BE INSTALLED AT LEASE FIVE (5) FEET FROM REQUIRED TREE PLANTING ISLANDS OR LANDSCAPE AREAS.

9. IF TREE SURVEY INACCURACIES ARE FOUND ON-SITE, A STOP WORK ORDER WILL BE ISSUED UNTIL REVISED PLANS ARE APPROVED AND PROCESSED BASED ON ACCURATE INFORMATION.

10. TREES AGREED UPON TO BE SAVED ARE THE RESPONSIBILITY OF THE OWNER.

11. A 4" LAYER OF MULCH WILL BE REQUIRED FOR THE CRZ OF SPECIMEN TREES. MULCH MUST BE APPLIED PRIOR TO START OF CONSTRUCTION. MULCH SHALL NOT BE PLACED DIRECTLY AGAINST TREE TRUNKS.

12. NO TRENCHING IS ALLOWED IN TREE SAVE AREAS, INCLUDING FOR THE INSTALLATION OF IRRIGATION.

13. TREE PIT DRAINAGE TESTING IS REQUIRED WHEN TREES ARE PLANTED IN PARKING LOT ISLANDS, SIDEWALK TREE PITS, ROADWAY MEDIANS, OR SIMILAR LOCATIONS. REFER TO CITY DETAILS REGARDING PLANTING PIT OR LANDSCAPE ISLAND CONSTRUCTION. FILL EACH PIT WITH WATER. IF PERCOLATION IS LESS THAN 100% WITHIN A PERIOD OF 12 HOURS, USE AN AUGER TO DRILL A 10" HOLE TO A DEPTH OF FOUR FEET BELOW THE BOTTOM OF THE PIT. FILL AUGER HOLE WITH DRAINAGE GRAVEL AND COVER WITH A SOIL SEPARATOR. RETEST PIT. IF DRAINAGE IS STILL UNSATISFACTORY, CITY ARBORIST AND/OR PROJECT ARBORIST MUST BE NOTIFIED IN WRITING OF THE LOCATIONS WITH UNSATISFACTORY DRAINAGE SO THAT A SOLUTION CAN BE ARRIVED UPON BEFORE PLANTING. ALL TESTING RESULTS MUST BE PROVIDED TO THE CITY ARBORIST.

14. ALL BUFFERS SHALL BE REPLANTED WHERE SPARSE OR AS DIRECTED BY THE CITY OF POUGHKEEPSIE IN ORDER TO CREATE A YEAR-ROUND OPAQUE SCREEN WITHIN 2 YEARS OF CONSTRUCTION. THIS MAY BE IN ADDITION TO WHAT IS SHOWN ON THE APPROVED LANDSCAPE PLAN.

INSPECTION:

1. THE OWNER'S REPRESENTATIVE SHALL INSPECT THE TOTAL WORK FOR ACCEPTANCE UPON REQUEST OF THE LANDSCAPE CONTRACTOR. ANY UNSATISFACTORY ITEMS SHALL BE NOTED AND MUST BE REMEDIED BY THE LANDSCAPE CONTRACTOR PRIOR TO ACCEPTANCE. UPON SATISFACTORY COMPLETION OF ALL WORK, THE OWNER'S REPRESENTATIVE SHALL CERTIFY IN WRITING ACCEPTANCE OF THE WORK. PAYMENT FOR CONTRACT WORK TO THE CONTRACTOR PURSUANT TO ISSUANCE OF ACCEPTANCE SHALL BE DEEMED THE FINAL PAYMENT FOR SAID WORK.

2. ALL PLANTING AND PLANT MATERIAL REQUIRED BY THIS CONTRACT SHALL BE IN A SATISFACTORY AND ACCEPTABLE CONDITION WHEN THE CONTRACTOR APPLIES FOR PAYMENT.

3. DESIGN PROFESSIONAL OR OWNER'S REPRESENTATIVE SHALL BE THE SOLE JUDGE OF THE QUALITY AND ACCEPTABILITY OF MATERIALS AND PLACEMENT.

WARRANTY:

1. THE CONTRACTOR SHALL COMPLETELY WARRANTY ALL PLANT MATERIAL AS INDICATED IN THE SPECS, BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. MAINTENANCE WORK SHALL BE PERFORMED UNTIL DATE OF FINAL ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE WARRANTY PERIOD (AS DIRECTED BY THE OWNER).

2. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEFOLIATES (PRIOR TO DATE OF SUBSTANTIAL COMPLETION OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL THE PLANT LIST SPECIFICATIONS.

3. THE LANDSCAPE CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS TO GRADES, VEGETATIVE COVER AND PAVING REQUIRED BECAUSE OF PLANT REPLACEMENTS. SUCH REPAIRS SHALL BE DONE AT NO EXTRA COST TO THE OWNER.



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PROJECT INFORMATION

Project Number

15066.00

Client Name

HUDSON RIVER HOUSING

Project Name

WINDOWS ON MAIN

Project Address

488 MAIN STREET POUGHKEEPSIE, NY 12601

PROJECT ISSUE & REVISION SCHEDULE

No.	Date	Description
1	8/13/2026	REVISED ALL SHEETS
2	8/20/2026	REVISED SITE PLAN
3	9/10/2026	REVISED SITE PLAN
4	11/11/2025	CITY OF POUGHKEEPSIE REVIEW COMMENTS ON 10/28/25
5	12/02/2025	REVISIONS TO LIGHTING AND BUILDING FOOTPRINT
6	4/27/2026	REVISED ALL SHEETS

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REPLACING AND TO THE REGISTRATION BOARD OF ARCHITECTS, ENGINEERS OR LANDSCAPE
ARCHITECTS AND THE DATE OF SUCH REGISTRATION, AND A BRIEF DESCRIPTION OF THE
ACTIVITY.

SHEET INFORMATION

Issued 06/24/25 Scale

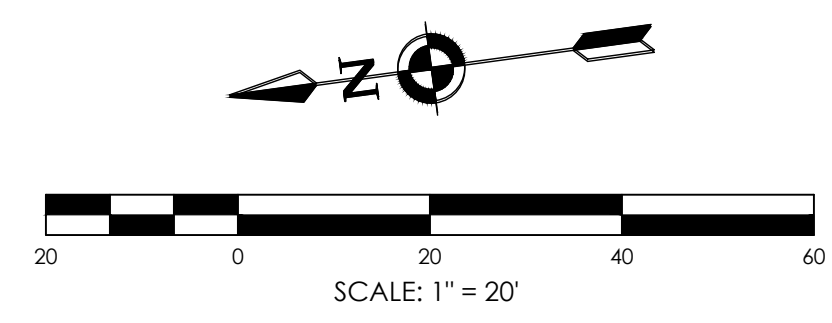
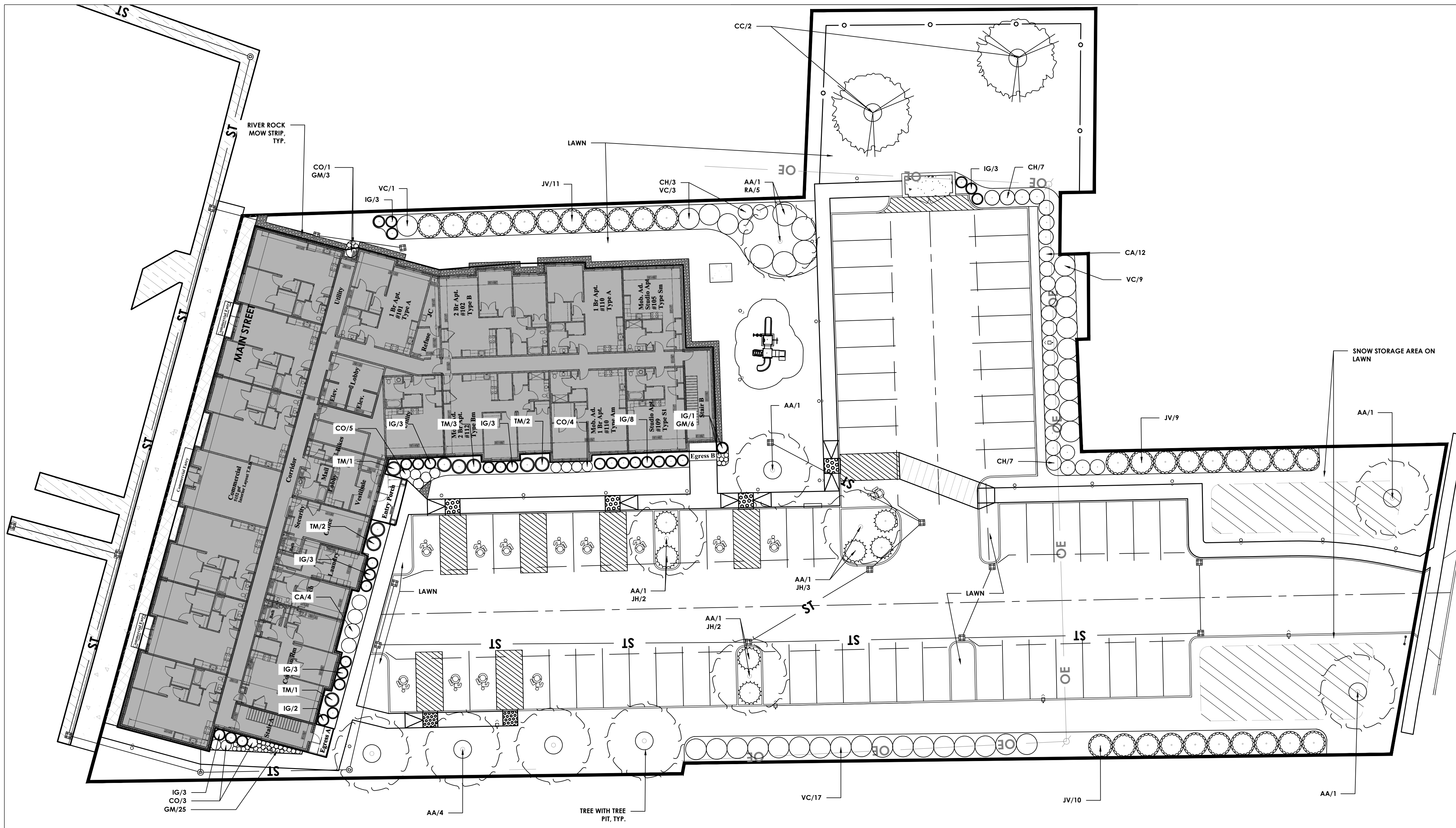
Project Status DESIGN Civil Revision Number

Down By Checked By

Drawing Title

Drawing Number

Sheet Size: 24x36
 Drawing Name: S:\Projects\HHH\Windows on Main\LD Design\WOM_L100\WOM_L100.dwg
 Date last accessed: 4/27/2026 4:55 PM
 Date last plotted: 4/28/2026 10:07 AM
 Plotted By: Christian Moore



LANDSCAPE PLAN
SCALE: 1" = 20'

SEEDING NOTES:

- ALL DISTURBED SOILS IN LAWN AREAS ARE TO RECEIVE 6" OF APPROVED TOPSOIL AND BE SEEDED WITH TRIO SUPREME BY PREFERRED SEED @ 5 POUNDS PER 1,000 SF.
 34% BLEND OF PARADOX GLR, PARAGON 2 GLR AND INFUSION GLX PERENNIAL RYEGRASS
 33% BLEND OF INTRIGUE CHEWINGS FESCUE, CELESTRIAL CRF AND ECO STAR HARD FESCUE
 33% BLEND OF BROOKLAWN, FIELDER AND SR2100 KENTUCKY BLUEGRASS

PLANT MATERIAL SCHEDULE							
Key	No.	Botanic Name	Common Name	Root	Size	Nativeity	Notes
AA	11	Amelanchier arborea 'Autumn Brilliance'	Autumn Brilliance Downy Serviceberry	BB	2-2.5"	NYS	Tree form
CC	2	Cercis canadensis 'Appalachian Red'	Appalachian Red Eastern Redbud	BB	7'-8"	N. America	Tree form
CA	16	Ceanothus americanus	New Jersey Tea	CG	No. 3	NYS	
CH	17	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	CG	No. 3	NYS	
CO	13	Clethra alnifolia 'Compacta' dwarf	Tom's Compact Summersweet	CG	No. 3	NYS	
GM	34	Geranium maculatum 'espresso'	Espresso Geranium	CG	No. 3	NYS	
IG	32	Ilex glabra 'Shamrock'	Inkberry	CG	No. 5	NYS	
JH	7	Juniperus horizontalis 'Blue Rug'	Blue Rug Creeping Juniper	CG	No. 3	NYS	
JV	30	Juniperus virginiana 'Emerald Sentinel'	Emerald Sentinel Eastern Redcedar	BB	6"	NYS	
RA	5	Rhus aromatica 'Gro-low'	Gro-Low Fragrant Sumac	CG	No. 4	NYS	
TM	9	Taxus x media 'Everlow'	Everlow Dense Anglojap Yew	BB	18"-24"	Non-native	
VC	30	Viburnum carlesii	Koreanspice Viburnum	BB	3'-4'	Non-native	



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PROJECT INFORMATION
 Project Number: 15066.00
 Client Name: HUDSON RIVER HOUSING
 Project Name: WINDOWS ON MAIN
 Project Address: 488 MAIN STREET POUGHKEEPSIE, NY 12601

PROJECT ISSUE & REVISION SCHEDULE

No.	Date	Description
1	8/13/2025	REVISED ALL SHEETS
2	8/20/2025	REVISED SITE PLAN
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SHEET INFORMATION
 Issued: 06/24/25
 Project Status: DESIGN
 Drawn By: JF
 Scale: AS NOTED
 City Revision Number: 0
 Checked By: --
 Drawing Title: LANDSCAPE PLAN

Drawing Number: **WOM L100**

MEMORANDUM

TO: Christian Moore P.E.

FROM: David Hastings, P.E., PTOE

DATE: 1/6/2026
UPDATED: 4/22/2026

RE: Windows on Main (488 Main St)
Parking Evaluation

4/22/2026 UPDATE

The site plan has been revised to reduce the footprint of the building and reduce the number of dwelling units from 81 to 61. This creates more space for parking which has increased from 34 spaces to 64 spaces. This report has been updated to reflect the revised conditions.

Windows on Main is a project proposed by Hudson River Housing, Inc. (HRH) which proposes to redevelop the existing commercial property located at 488 Main St in the City of Poughkeepsie. This memorandum evaluates parking requirements and demand.

Section 1 – Existing Site Information

The parcel of land fronts Main Street and extends south to Cannon Street. However, there is currently no existing useful access to the parcel from Cannon Street. There are two driveways on Main Street, one on each side of the building. There are approximately 32 total designated parking spaces, 16 spaces at each driveway. There is a large paved lot in the back of the building that is fenced off to exclude from use. The existing commercial building on the property contains office space as well as a laundromat with 71 machines.

There is metered on-street parking on Main Street along the entire block of Main Street between South Cherry St and South Clinton St, with space for approximately 33 cars.

Dutchess County Public Transit provides a bus service at the proposed project location. Route L provides daily service on Main Street on Monday through Saturday from 6:45 AM to 7:41PM, and from 9:15 AM to 5:30 PM on Sundays. Stop # 304 is located at the Cherry Street intersection just 250 'east of the proposed project location.



Section 2 – Proposed Development Information

The proposed mixed-use property development plans to provide 61 affordable housing residential units located on the upper floors and rear portion of the new building. The residential units are supplied for limited-income residents. Available units will consist of the following breakdown:

Apartment Type	# of Units	# of Bedrooms
Studio (551 SF)	17	17
One Bedroom (736 SF)	30	30
Two Bedroom (992 SF)	14	28
TOTALS	61	75

A portion of the first floor will be provided for office/retail space. The space is approximately 5,082 square feet. The plan for this space is for three (3) commercial spaces, one of which will be occupied by HRH’s Housing Resource Center.

The proposed site plan provides a parking lot on the backside of the building with driveway access to Cannon Street with no vehicular access to Main Street. The parking lot is provided for residential and commercial space use. Available on street parking and access to public transit remain as existing.

Proposed Number of On-Site Parking Spaces = 64

Section 3 - Similar Developments

There are several recently developed residential projects in the Hudson Valley and the parking provided at those locations is summarized below. None of the nearby recent developments, including 4 within the City of Poughkeepsie, provide the number of residential parking spaces required by the current City Code.

Development	Residential Units	Commercial Space (SF)	On-Site Parking Spaces	Access to Public Parking	Provided Parking Ratio (spaces/unit)
Fallkill Commons Poughkeepsie	78	None	34	Yes On Street	0.44
Crannell Square Poughkeepsie	75	None	30	Yes Municipal Lot	0.40
Queen City Lofts Poughkeepsie	70	10,000 Brewery 5,000 General	64	Yes On Street	0.90
Poughkeepsie Underwear Factory	15	6,645	18	Yes On Street	1.20
<i>Windows on Main AS PROPOSED</i>	<i>61</i>	<i>5,082</i>	<i>64 (est.)</i>	<i>Yes On Street</i>	<i>1.05</i>



The housing development Fallkill Commons on Rose is another project by Hudson River Housing recently completed in 2020. The property is located 1.5 blocks from the Windows on Main site. That development provides 78 affordable units (41 studios & 37 one-bedrooms) for households earning 30% to 50% average median income. That development provides 34 parking spaces total, which equates to a rate of 0.44 spaces per unit.

Parking Utilization

Hudson River Housing has ownership interest in the four developments within the City of Poughkeepsie cited in this document. Parking data was collected on multiple days and times over the span of four weeks between October 14 and November 9, 2025. Parking data was collected at various times that reflect overnight parking, daytime parking, and weekend parking demand. The data is provided as an attachment to this Memo and summarized in the following table.

Development	On-Site Parking Spaces	MAX Parked Vehicles	AVERAGE Parked Vehicles	MAX Utilized Parking Ratio (spaces/unit)
Fallkill Commons Poughkeepsie	34	24	17	0.31
Crannell Square Poughkeepsie	30	30	22	0.40
Queen City Lofts Poughkeepsie	64	60	32	0.86
Poughkeepsie Underwear Factory	18	12	7	0.80

This data shows that the supplied parking lots are usually underutilized with sufficient parking supply.

Hudson River Housing supplies parking permits to residents with vehicles. If needed, HRH permits residents to park at other HRH properties.

Residential Transportation Amenities

Hudson River Housing serves a market with targeted income levels. Many residents do not have, do not need or do not prefer to use automobiles. HRH selects locations for housing developments in walkable neighborhoods with services nearby. There are often transit stops nearby providing access to the Dutchess County Public Transit system.

To support residents, HRH provides shuttle services on a regular basis during popular times of the day depending on need. Additionally, HRH provides on-site storage facilities in many of their housing developments for bikes and scooters to promote mobility and reduce automobile dependency. Windows on Main will have indoor bicycle storage.

In turn, these amenities reduce the demand for parking related to Hudson River Housing developments.



Section 4 – Residential Parking Requirements

City of Poughkeepsie Parking Requirements

Chapter 19 Article 6 of the City of Poughkeepsie Municipal Code addresses parking requirements for development projects in the city. Multi-family dwellings shall require 1.25 parking spaces for each dwelling unit. Given the 61 dwelling units proposed, this would require that 77 parking spaces be provided. The City code does not differentiate parking requirements between the type of housing or the number of bedrooms provided in each unit.

Poughkeepsie Code			
#	Variable	Rate of Parking per Dwelling Unit	Parking Requirement
61	Dwelling Units	1.25	77

Institute of Transportation Engineers (ITE) Parking Data Analysis

The Institute of Transportation Engineers (ITE) Parking Generation Manual, now in its 6th edition, is a comprehensive reference tool designed to help professionals estimate peak parking demand for various land uses. Section 223 of the manual specifically deals with Affordable Housing, which correlates to the type of housing planned for this development. The manual breaks down available data into subcategories and evaluates it based on different variables. Based on the definitions as provided in the manual, the following selections apply for determining parking demand

- Land Use Subcategory: Income Limits
- Setting/Location: Dense Multi-Use Urban
- Independent Variable: Dwelling Units -or- Bedrooms

There are 30 studies that have been completed for this type of housing development with data provided in the Parking Generation Manual. Parking data was cataloged based on both the number of dwelling units and the number of bedrooms to provide context as to how much parking demand should be expected. Affordable housing developments can vary in the number of bedrooms in each dwelling unit provided. The following are the results of the ITE data analysis

ITE Parking Estimate			
#	Variable	Calculated Peak Parking Demand	Rate of Parking per Dwelling Unit
61	Dwelling Units	43	0.70
75	Bedrooms	33	0.54

Evaluation

The City's code of 1.25 spaces per dwelling unit is excessive for this type of development. The code does not take into account the type of resident or the number of bedrooms provided. The proposed development will provide affordable housing for low to moderate income residents. This demographic typically has smaller vehicle ownership rates. Considering the location of this property is in the center of the City with access to transit, parking demand will be reduced. The ITE data indicates that a development of this type with this number of total



bedrooms requires 0.54 spaces per unit to meet peak parking demand.

Section 5 - Commercial Space Parking Requirements

City of Poughkeepsie Parking Requirements

Chapter 19 Article 6 of the City of Poughkeepsie Municipal Code addresses parking requirements for development projects in the city. The commercial space parking requirements vary depending on use. A non-medical office or a retail sales or personal services establishment requires 1 space for each 300 SF of floor area. The Office/Retail space is proposed as 5,082 SF of floor area. This requires 17 parking spaces.

Poughkeepsie Code			
#	Variable	Rate of Parking	Parking Requirement
5,082	Square Feet	1 per 300 sf	17

Evaluation

For general commercial space, the City code determines 17 spaces are required. Considering the density of the neighborhood, walkability, access to public transit, the parking requirements are likely excessive for this location.

Section 6 – Impact on Adjacent Street Network

The existing property has driveway access to Main Street, and no usable access to Cannon Street. The development is planned to provide driveway access from Cannon Street, no access from Main Street. This change will direct site generated traffic on Cannon Street. The amount of traffic generated by this development is low. The Institute of Transportation Engineers publishes the Trip Generation Manual which estimates peak hour trip volumes for various land uses. The land use for affordable housing (223) is available to estimate usage. In the morning peak hour between 7am and 9am, there would be 13 exiting and 6 entering vehicles. In the evening peak hour between 4pm and 6pm, there would be 8 entering and 6 exiting vehicles. This volume of traffic would not be expected to have an impact on operations on the adjacent road network.

The on-site parking supply is expected to meet demand. It is not anticipated that site generated traffic would park on the adjacent streets.



At a request made at a recent ZBA meeting, Hudson River Housing took overnight parking counts along Cannon Street. The results of this count are as follows:

<u>Day</u>	<u>Date</u>	<u>Time</u>	<u># of Vehicles</u>
Thurs.	2/12/2026	10:20 pm	9 cars
Fri.	2/13/2026	11:15 pm	16 cars
Sat.	2/14/2026	10:30 pm	16 cars
Mon.	2/16/2026	11:30 pm	15 cars
Tues.	2/17/2026	5:00 am	13 cars
Wed.	2/18/2026	6:00 am	17 cars

Section 7 - Conclusion

This proposed mixed-use development follows a similar format to other Hudson River Housing projects. The 61 affordable housing units and 5,082 SF of commercial space are similar to other projects recently developed. The demographics of residents, walkability of the neighborhood, access to transit services, and on-street parking supply significantly reduce the demand for on-site parking. The City Code requires 94 parking spaces. The data presented in this memo demonstrates that it is excessive for this particular development.

Findings in this report are as summarized:

- ITE parking data identifies that this development would demand 33 to 43 parking spaces. That finding is in keeping with the observations of parking demand at other HRH properties.
- City Code requires 17 parking spaces for 5,082 of office/retail space.
- Combined, this is a maximum parking demand of 60 parking spaces.
- The site plan provides 64 spaces which exceeds estimated demand.
- 64 spaces provided is 68% of the 94 spaces required by City Code. This is a variance of 30 spaces (32%).

The parking supply is anticipated to meet parking demand of both the residential and commercial portion of this development. Hudson River Housing supplies parking permits to residents with vehicles. If needed, HRH permits residents to park at other HRH properties. Fallkill Commons and the Poughkeepsie Underwear Factory are within a block or two from the proposed Windows on Main site. Although unlikely, the utilization data indicates these properties have capacity to support overflow parking if needed.



Commercial 01

Commercial 02

Commercial 03



Hudson River
Housing, Inc.
Windows on Main



**THE CITY OF POUGHKEEPSIE
NEW YORK**

ZONING BOARD OF APPEALS
62 CIVIC CENTER PLAZA, 2ND FLOOR
POUGHKEEPSIE, NY 12601

Phone: (845) 451-4263 Fax: (845) 451-4006

FEE: \$350
CODE: A2112

ID#: _____

IPS# _____

AREA VARIANCE APPLICATION

PROPERTY ADDRESS: 488 MAIN STREET

ZONING DISTRICT: MU-5

OWNER INFORMATION:

Name: Hudson River Housing, Inc.

Address: 313 Mill Street

New York 12601

Phone: [REDACTED]

Email: [REDACTED]

APPLICANT INFORMATION:

Name: Hudson River Housing, Inc.

Address: 313 Mill Street

New York 12601

Phone: [REDACTED]

Email: [REDACTED]

CONSULTANT INFORMATION:

Name: CPL, Architecture, Engineering, Planning

Address: 26 IBM Road

Poughkeepsie, NY 12601

Phone: [REDACTED]

Email: [REDACTED]

SUBJECT OF APPEAL

This application relative to the above referenced property constitutes an appeal from the decision, determination or violation of an official of the City of Poughkeepsie.

Name and title of agent: _____

Date of decision/determination/violation: _____

Please note that a copy of the communication must be attached with this application.

ZONING BOARD OF APPEALS AREA VARIANCE APPLICATION
PROPERTY ADDRESS: 488 MAIN STREET

AREA VARIANCE REQUESTS

All sections under this heading must be answered completely. Bear in mind that a variance is actually relief from the strict application of the requirements of the law (the Zoning Ordinance), and the Zoning Board of Appeals is required to give sound reasons, based on the criteria set forth in this application, for granting any such relief.

SECTION	REQUIRING/PROHIBITING	REQUESTED VARIANCE
Sec. 19-6.2(11)(a) Sec. 19-6.2(11)(b)	94 PARKING SPACES	30 PARKING SPACES (32%)
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

VARIANCE REQUEST JUSTIFICATION

Pursuant to Section 19-9.10(11)(c) of the Zoning Ordinance, the Zoning Board of Appeals, in making its determination, shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such granting.

Bear in mind that a variance is actually relief from the strict application of the requirements of the law (the Zoning Ordinance), and the Zoning Board of Appeals is required by law to give sound reasons, based on the criteria set forth in this application, for granting any such relief. **Please note that it is therefore incumbent upon the applicant to demonstrate to the Board that the criteria for the granting of the variance(s) are satisfied.**

Responses to the following questions shall be attached to and submitted with the application.

- 1) Will the granting of the variance produce an undesirable change in the character of the neighborhood or be a detriment to nearby properties? If not, please explain why.
- 2) Can the benefit sought be achieved by some other method feasibly for the applicant to pursue, other than an area variance? Identify what alternatives to the variance, if any, have been explored (for example, alternative designs, purchasing of contiguous properties, etc.). Why is the variance necessary?
- 3) Is/are the requested area variance(s) substantial? Explain why they are not substantial.
- 4) Will the variance(s) have an adverse affect or impact on the physical or environmental conditions in the neighborhood or district? Why not?
- 5) Is the need for the area variance(s) the result of self-created difficulties on your part, or unique to the property? Explain.

ZONING BOARD OF APPEALS AREA VARIANCE
APPLICATION

PROPERTY ADDRESS: _____
AREA VARIANCE REQUESTS

LIST OF REQUIRED ATTACHMENTS

1. Letter or communication which resulted in application to the ZBA.
2. Site or Plot Plan: Nine (9) copies.
3. Color photos of site conditions: Nine (9) copies
4. Complete Short EAF
5. Electronic file submission of the plot plan and color photos
6. Other attachments deemed pertinent by the applicant (please list):

SIGNATURE AND VERIFICATION

Please be advised that no application can be deemed complete unless signed below.

THE APPLICANT HEREBY STATES THAT ALL INFORMATION GIVEN IS ACCURATE AS OF THE DATE OF APPLICATION. THE APPLICANT, IF NOT THE OWNER OF THE PROPERTY, HEREBY SWEARS THAT THIS APPLICATION IS MADE WITH THE INFORMED KNOWLEDGE AND CONSENT OF THE OWNER.



SIGNATURE OF APPLICANT

4/28/26
DATE

Mary F. Linge
Print Name



April 28, 2026

Zoning Board of Appeals
City of Poughkeepsie
62 Civic Center Plaza, 2nd Floor
Poughkeepsie, NY 12601

Attn: Scott Parker, Chair, Zoning Board of Appeals
Re: Windows On Main Site Plan, 488 Main Street
Tax Grid No: 131300-6161-23-290979

Dear Chairperson Parker and Members of the Board:

On behalf of Hudson River Housing, Inc. (HRH), CPL is pleased to submit the enclosed materials regarding the proposed Windows on Main development located at 488 Main Street in the City of Poughkeepsie. The City of Poughkeepsie Planning Board circulated for, and subsequently declared themselves Lead Agency for the review of this project. This project received a Negative Declaration under SEQR from the City of Poughkeepsie Planning board on 9/16/2025. The Applicant is seeking a variance for the parking requirements under Section 19-6.2.

The Applicant has elected to reduce the proposed building footprint and unit count from 81 units to 61 units, and has provided additional on-site parking, reconfiguring the site layout accordingly.

The building reduction was achieved by shortening the rear leg; with the proposed entrance to the site off Cannon Street with the Main Street pedestrian access via sidewalk. 20 parking spaces are shown coming off the main access path, and the proposed playground has been moved closer to the building.

Based on City requirements, the required number of parking spaces is:

Residential:	1.25 spc/unit x 61 units	= 77 spaces	(Sec. 19-6.2(11)(a))
<u>Commercial / office:</u>	<u>1 space / 300 sf x 5,100 sf</u>	<u>= 17 spaces</u>	<u>(Sec. 19-6.2(11)(b))</u>
	Total	= 94 spaces	



Based on ITE estimates, should the rate of parking per dwelling unit be based upon the total number of units and bedrooms, the parking requirement would be evaluated as follows:

Residential:	0.54 spc/unit x 61 units	= 33 spaces
Commercial / office:	1 space / 300 sf x 5,100 sf	= 17 spaces
	Total	= 50 spaces

Alternatively, should the rate of parking per dwelling unit be based upon the number of units without regard for bedroom count, the parking requirement would be evaluated as follows:

Residential:	0.70 spc/unit x 61 units	= 43 spaces
Commercial / office:	1 space / 300 sf x 5,100 sf	= 17 spaces
	Total	= 60 spaces

This, together with the 17 spaces required for the commercial component of the project, would require 50 to 60 spaces total, based on the ITE estimates. To be conservative, assuming the appropriate parking requirement is 60 spaces, the 64 spaces would satisfy.

CPL is submitting the materials referenced at the end of this letter for consideration by the Board:

Enclosed with this cover letter are (6) copies of the following submission materials:

- Site Plan Set, 21 sheets, rev. 4/27/2026
- Parking Evaluation Memorandum prepared by Dave Hastings, P.E., P.T.O.E. of CPL dated 4/22/2026

Questions from Application:

1. Will the granting of the variance produce an undesirable change in the character of the neighborhood or be a detriment to nearby properties? If not, please explain why.

Response: No, granting the requested variance will not produce an undesirable change due to the fact that the Code requirement for the residential component does not appear to agree with other accepted requirements for low income housing in similar urban environments.

Currently, the property is underutilized. Occupation of this space in the manner which is being proposed will produce a desirable change to the character of the community.

2. Can the benefit sought be achieved by some other method feasibly for the applicant to pursue, other than an area variance? Identify what alternatives to the variance, if



any, have been explored (for example, alternative designs, purchasing of contiguous properties, etc.). Why is the variance necessary?

Response: The original project design offered 81 residential units and 5,083 square feet of office/retail space that required more parking and a greater variance that is being requested now. However, several scenarios involving acquiring site control for neighboring properties were not feasible, or attractive for the project or the neighborhood. The applicant has been left no choice but to modify the project design to reduce the parking needs. There are other public parking areas in the City of Poughkeepsie, but their proximity to the Windows on Main site is challenging.

- North Hamilton Street and Crannell Street: 1,420± feet
- Intersection of Cannon St and Academy Street: 2,050± feet
- Cannon Street and Hurlihe Street: 2,350± feet
- Municipal Parking garage at Garden Street: 2,570± feet

3. Is/are the requested area variance(s) substantial? Explain why they are not substantial.

Response: The variance requested is 30 spaces, which is 32%. Given the ITE conservative estimate of 60 spaces, and the information and data in the parking evaluation we do not feel this variance request is substantial. We have provided a parking evaluation memorandum supporting a parking requirement of 60 spaces, 43 for the residential units at 0.70 spaces/unit as opposed to the 1.25/unit per Code, and 17 for retail/office at 1 space per 300 square feet.

4. Will the variance(s) have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district? Why not?

The residential component is expected to generate lower-than-average vehicle ownership due to its affordable housing designation, as described in the parking evaluation memorandum. It is our position that the overall parking demand remains within the capacity of the site and surrounding street network and it will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood.

5. Is the need for the area variance(s) the result of self-created difficulties on your part, or unique to the property? Explain.

Response: The area variance requested is unique to the project and property. The parking study prepared confirms that the combination of onsite and additional offsite parking will be sufficient for the anticipated number of vehicles.



The above materials have also been provided electronically on the enclosed flash drive. We look forward to discussing this project with the Board at the next meeting. Should you have any questions or need additional information, please call me at (845) 686-2330 or by e-mail at cmoore@cplteam.com.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Christian T. Moore'.

Christian T. Moore, P.E.
Senior Engineering Project Manager
Enc.
Cc: Mary Linge, HRH; File

CHESTNUT
29 FOX STREET
COVER LETTER

Our intent is to install a set of Channel Letters and a Logo on the face of the building to identify the Chestnut Headquarters Building.

We are requesting a variance for the placement of the letters. 19-4.9-9 (i) of the City code states signs cannot be higher than 12' from ground level. We are seeking a 36.4 ft. variance to install at the top of the building to allow for the best visibility.

The building houses multiple professional and Medical suites and marking the location is essential for all visitors .

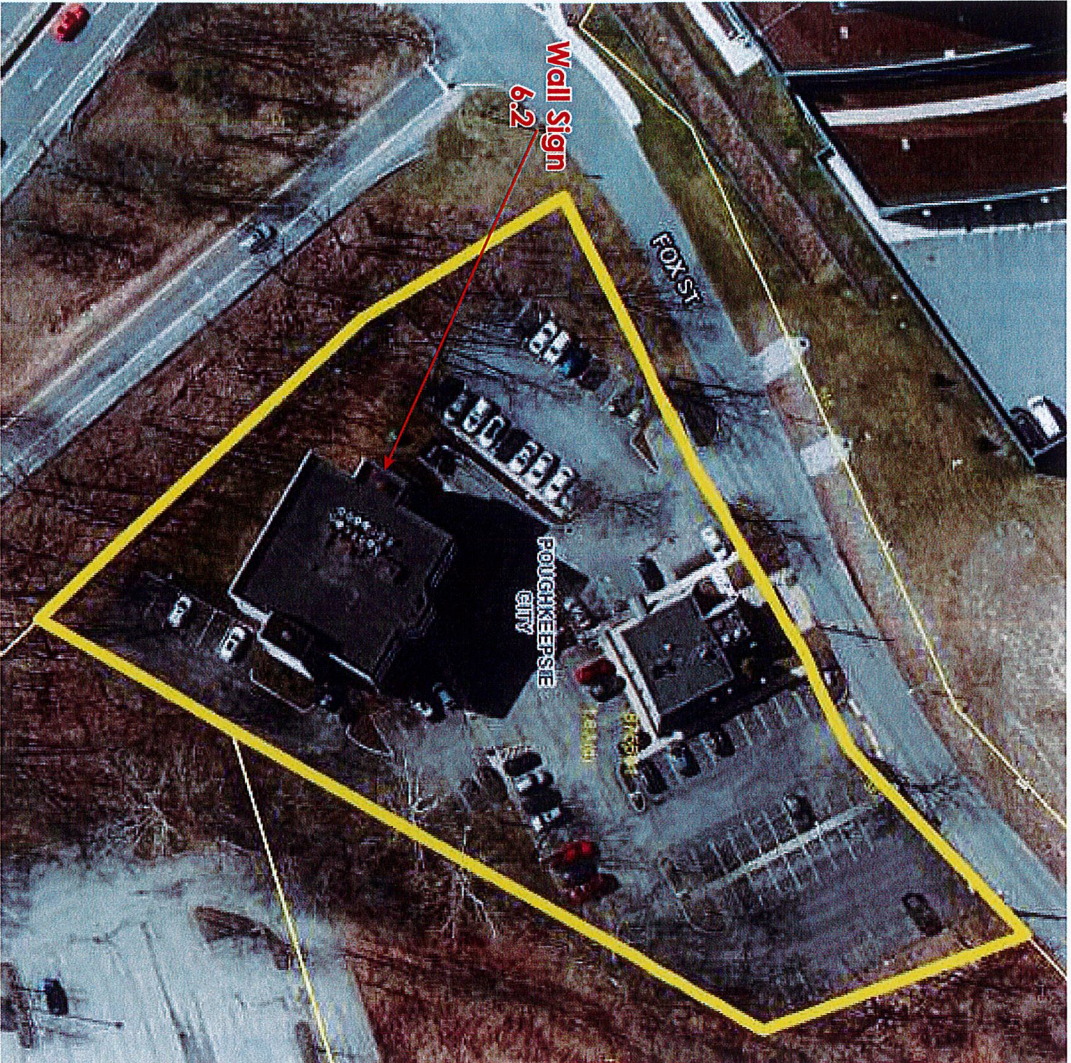
**Single Parcel
Zoned CD**

Freestanding sign.

1. **Location.** Freestanding signs shall be located in a front yard and a minimum of five feet from the front property line.
2. **Maximum dimensions.** Within nonresidential zoning districts, a freestanding sign shall not exceed a maximum dimension of six feet in height or width, nor a maximum area of 36 square feet per sign face. Within permitted residential districts, a freestanding sign shall not exceed a maximum dimension of three feet in height or width, nor a maximum area of six square feet per sign face. Maximum height, including sign face and base, shall not exceed eight feet in nonresidential and five feet in residential districts.
3. **Maximum number of colors.** No more than three colors are permitted per freestanding sign.
4. **Maximum number of words.** No more than five words are permitted per face per freestanding sign.

Wall sign.

1. **Location.** The bottom of a wall sign shall be a minimum of eight feet or a maximum of 12 feet above the sidewalk.
2. **Maximum dimensions.** Wall signs shall not exceed a height of three feet and shall not exceed an area in square feet equal to one times the length of the frontage, up to a maximum of 60 square feet. For one-story buildings, a wall sign shall not extend higher than the top of the cornice line. For buildings of two stories or more, a wall sign shall not extend above the bottom sill of windows on the second story.
3. **Maximum number of colors.** No more than three colors are permitted per wall sign.
4. **Maximum number of words.** No more than five words are permitted per wall sign.



Client \ Project Location: File Name:

97 North Clinton Street
Poughkeepsie, NY 12601
845-471-4366 - phone
845-471-0987 - fax
www.gnsgroupltd.com

Chestnut Petroleum \ 29 Fox
Street, Poughkeepsie
Chestnut Petroleum \ 29 Fox
St., Offices Interiors
Extensions.cdr

Date:

nsd 4/8/2024
4/19/2024
6/21/2024

Client Approval:

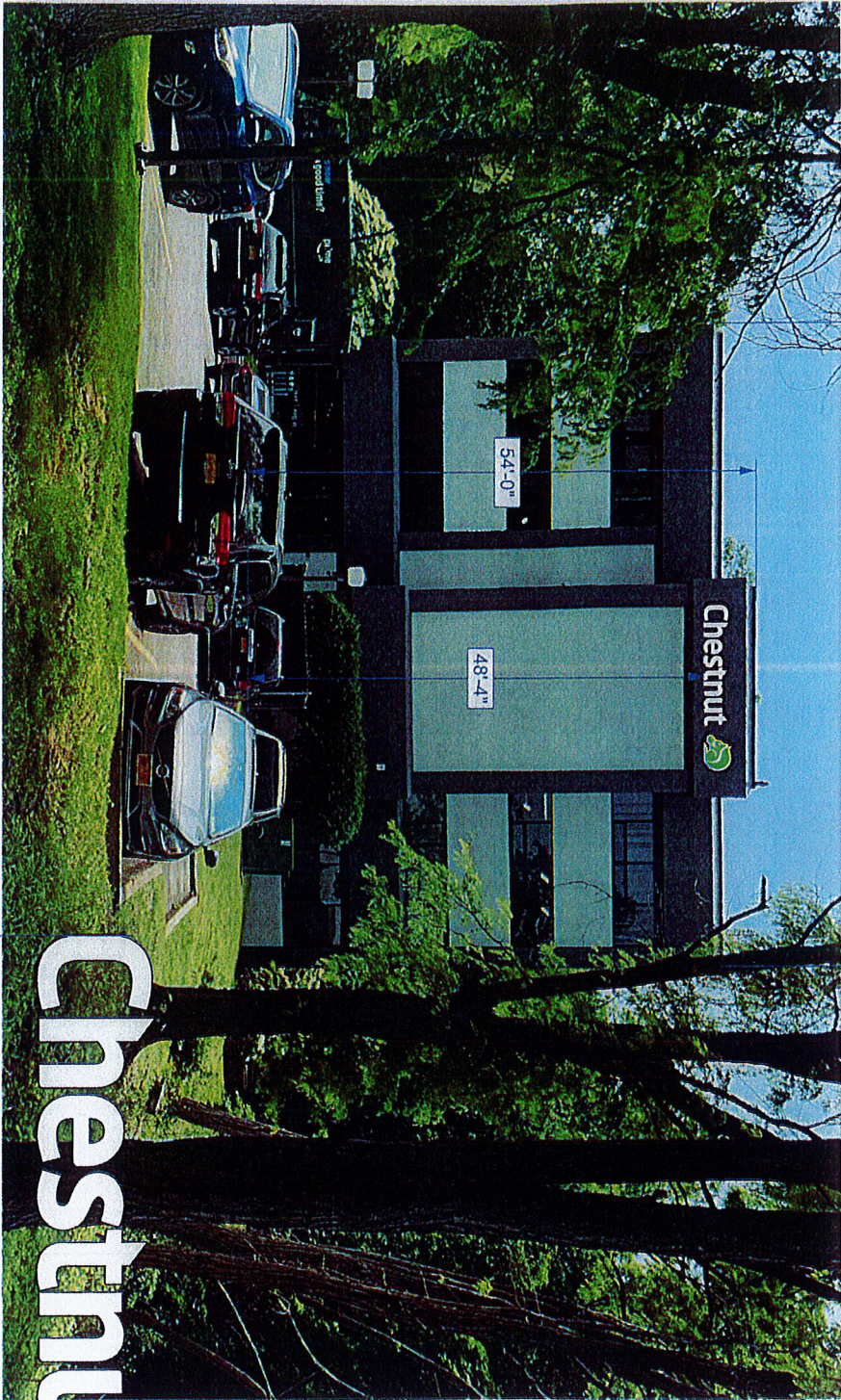
Date:

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reproduced or transmitted in any form or by any means
electronic or mechanical, including photocopying, recording,
or by any information storage and retrieval system, without
written permission from GNS Group, Inc.

8.1

Sheet:





70'-5"
54'-0"
48'-4"
17'-0"

51 SF Internally Illuminated Channel Letters, flush mounted to wall
 faces to have green logo vinyl applied, as shown.
 Reduced height to 36" logo with 31" Chestnut letters - not brand standard.



3'-0"

GNS
 GROUP
 259 N Grand Avenue
 Poughkeepsie, NY 12603
 845-471-4366 - phone
 845-471-0987 - fax
 www.gnsgrouppld.com

Client \ Project Location: File Name:
 Chestnut Petroleum
 Distributors, 29 Fox St.,
 Poughkeepsie, NY 12601

Date:
 7/17/2025
 3/19/2026
 3/23/2026

Client Approval:
 Date:

Sheet:
 6.2B

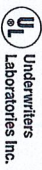
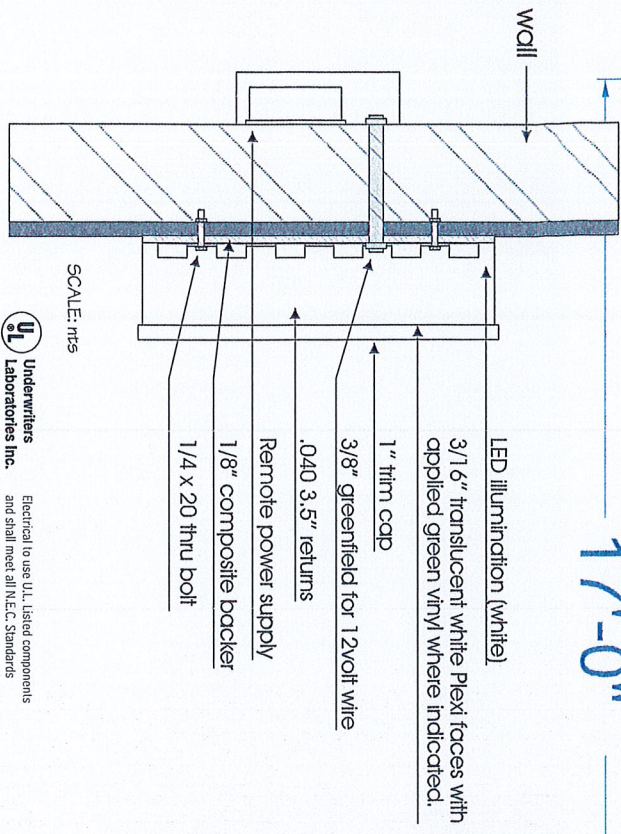
Please note that the colors represented on this proof are not exact representations of the finished product. All computer screens, cell phone screens and printer display colors differ in method. If exact colors are necessary for this project, you may request a physical color template for an additional fee.

Chestnut



3'-0"

17'-0"



Electrical to use UL Listed components and shall meet all N.E.C. Standards

***ALL ELECTRICAL COMPONENTS & CONSTRUCTION MATERIAL MEET ALL REGULATED REQUIREMENTS FOR LOCAL & NATIONAL CODES LETTERS ARE UL APPROVED & LABELED AS SUCH

SCALE: nts

51 SF Internally Illuminated Channel Letters, flush mounted to wall faces to have green logo vinyl applied, as shown.

GNS
G R O U P
259 N Grand Avenue
Poughkeepsie, NY 12603
845-471-4366 - phone
845-471-0987 - fax
www.gnsgrouppltd.com

Client \ Project Location: File Name:

Chestnut Petroleum
Distributors, 29 Fox St.,
Poughkeepsie, NY 12601

Date:

7/17/2025
3/23/2026

Client Approval:

Date:



Electrical to use UL Listed components and shall meet all N.E.C. Standards

Please note that the colors represented on this proof are not exact representations of the finished product. All computer screens, cell phone screens and printer display colors in different monitors. If exact colors are necessary for the project, you may request a physical color sample for an additional fee.

Sheet:

6.3

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Chestnut (Sign)			
Name of Action or Project:			
Chestnut Building			
Project Location (describe, and attach a location map):			
29 Fox St.			
Brief Description of Proposed Action:			
Installation of one (1) set of channel letters and logo on front wall of building			
Name of Applicant or Sponsor:		Telephone:	
GNS Group, Ltd.			
Address:		E-Mail:	
259 N Grand Ave			
City/PO:		State:	Zip Code:
Poughkeepsie		NY	12603
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?		NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?		NO	YES
If Yes, list agency(s) name and permit or approval:		<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		0 acres	
b. Total acreage to be physically disturbed?		0 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

Shoreline Forest Agricultural/grasslands Early mid-successional
 Wetland Urban Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor/name: Nancy Forrest Date: 3/26/26

Signature: Nancy Forrest Title: agent/applicant

PRINT FORM



BUILDING DEPARTMENT

CITY OF POUGHKEEPSIE
62 CIVIC CENTER PLAZA, 2ND FLOOR
POUGHKEEPSIE, NY 12601
Phone: (845) 451-4007 Fax: (845) 451-4006

Eric Philipp
Building Inspector

March 17th, 2026

GNS Group LTD
259 N Grand Ave
Poughkeepsie NY 12603

RE: 27-29 Fox Street
ID: 159040
Application # PB-2026-031

To whom it may concern,

The Building Department has received your sign application # PB-2026-031 for a wall sign located at 27-29 Fox Street. Please be advised that the property at 27-29 Fox Street is located in an area of the City zoned Campus Development District (CD). Please note that although wall signs are permitted, the application does not meet the following code requirement(s).

1. Section 19-6.4(8)(i)(1) states that the bottom of a wall sign shall be a maximum of 12' above the sidewalk. The bottom of the proposed wall sign is 48'4" above the sidewalk.
2. Section 19-6.4(8)(i)(2) states that wall signs shall not exceed a height of 3'. The height of the proposed wall sign is 3'7".
3. Section 19-6.4(8)(i)(2) states that wall signs shall not extend above the bottom sill of windows on the second story. The entirety of the proposed wall sign is above the second story window sill located on the roof line of the 4th story.
4. Section 19-6.4(8)(i)(2) states that wall signs shall not exceed 60 square feet. The proposed wall sign contains 64.2 square feet.

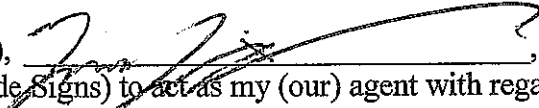
Therefore, your application is hereby denied. You may appeal the terms of this denial to the Zoning Board of Appeals within (60) days of the date of the denial.

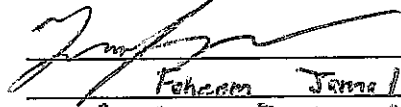
If you have any questions, you can reach me at 845-451-4273

Very truly yours,
Joseph O'Brien
Deputy Zoning Administrator

Notice of Owner's Consent

Date: 3/10/26
Property: 29 Fox St.
Owner of Record: 578 Tarrytown Rd. LLC
Address: 536 Main St.
New Paltz, NY 12561
Phone: 914-393-0074

I (we), , hereby give consent to the GNS Group LTD (Gloede Signs) to act as my (our) agent with regard to this application.

Signed: 
Print: Feham Jamal
Title: Director of Operations



**THE CITY OF POUGHKEEPSIE
NEW YORK
ZONING BOARD OF APPEALS
62 CIVIC CENTER PLAZA, 2ND FLOOR
POUGHKEEPSIE, NY 12601
Phone: (845) 451-4263**

FEE: \$350
CODE: A2112
ID#: _____
IPS#: _____

NOTE: The City of Poughkeepsie never requests and will not accept applicati/ fees via wire transfer, ACH, or credit/debit card over the phone or by email. Fees are accepted by check via mail or cash/check in person at City Hall.

AREA VARIANCE APPLICATION

PROPERTY ADDRESS: 29 Fox St.

ZONING DISTRICT: _____

OWNER INFORMATION:

Name: 578 Tarrytown Rd. LLC
 Address: 536 Main St.
New Paltz, NY 12561
 Phone: _____
 Email: _____

APPLICANT INFORMATION:

Name: GNS Group, Ltd
 Address: 259 N Grand Ave.
Poughkeepsie, NY 12603
 Phone: _____
 Email: _____

CONSULTANT INFORMATION:

Name: n/a
 Address: _____
 Phone: _____
 Email: _____

SUBJECT OF APPEAL

This application relative to the above referenced property constitutes an appeal from the decision, determination or violation of an official of the City of Poughkeepsie.

Name and title of agent: Joseph O'brien

Date of decision/determination/violation: 3/17/26

Please note that a copy of the communication must be attached with this application.
 Revised 12/24: Previous Editions Obsolete

ZONING BOARD OF APPEALS AREA VARIANCE APPLICATION

PROPERTY ADDRESS: 29 Fox St.

AREA VARIANCE REQUESTS

All sections under this heading must be answered completely. Bear in mind that a variance is actually relief from the strict application of the requirements of the law (the Zoning Ordinance), and the Zoning Board of Appeals is required to give sound reasons, based on the criteria set forth in this application, for granting any such relief.

SECTION	REQUIRING/PROHIBITING	REQUESTED VARIANCE
<u>19-4.9 9(i)</u>	<u>Signs not to exceed 12' above sidewalk</u>	<u>36.4 feet</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

VARIANCE REQUEST JUSTIFICATION

Pursuant to Section 19-9.10(11)(c) of the Zoning Ordinance, the Zoning Board of Appeals, in making its determination, shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such granting.

Bear in mind that a variance is actually relief from the strict application of the requirements of the law (the Zoning Ordinance), and the Zoning Board of Appeals is required by law to give sound reasons, based on the criteria set forth in this application, for granting any such relief. **Please note that it is therefore incumbent upon the applicant to demonstrate to the Board that the criteria for the granting of the variance(s) are satisfied.**

Responses to the following questions shall be attached to and submitted with the application.

- 1) Will the granting of the variance produce an undesirable change in the character of the neighborhood or be a detriment to nearby properties? If not, please explain why.
- 2) Can the benefit sought be achieved by some other method feasibly for the applicant to pursue, other than an area variance? Identify what alternatives to the variance, if any, have been explored (for example, alternative designs, purchasing of contiguous properties, etc.). Why is the variance necessary?
- 3) Is/are the requested area variance(s) substantial? Explain why they are not substantial.
- 4) Will the variance(s) have an adverse affect or impact on the physical or environmental conditions in the neighborhood or district? Why not?
- 5) Is the need for the area variance(s) the result of self-created difficulties on your part, or unique to the property? Explain.

JUSTIFICATION ANSWERS 1-5

- 1) THE GRANTING OF THE VARIANCE WILL NOT CREATE AN UNDESIRABLE CHANGE IN THE CHARACTER OF THE NEIGHBORHOOD AS THE BUILDING IS LOCATED ON A CORNER IN THE CITY THAT IS NOT DENSELY POPULATED , HAS A SIGNIFICANT SETBACK FROM THE STREET , AND IS FULLY LANDSCAPED WITH TREES AROUND THE PERIMETER.

- 2) THE LOCATION CHOSEN FOR THE SIGN IS AESTHETICALLY CORRECT FOR THE DESIGN OF THE BUILDING AND FOR READABILITY AT A DISTANCE . IT IS VISIBLE AS YOU APPROACH THE PARKING LOT COMING DOWN FOX ST. WHEREAS LOWER ON THE BUILDING IT IS NOT.

- 3) ALTHOUGH THE REQUESTED FOOTAGE IS SUBSTANTIAL IT IS WARRANTED FOR THE STATED REASONS IN BOTH QUESTIONS 1&2

- 4) THE PROPOSED SIGNS WILL NOT HAVE AN ADVERSE AFFECT OR IMPACT ON THE PHYSICAL OR ENVIRONMENTAL CONDITIONS IN THE NEIGHBORHOOD OR DISTRICT. PHYSICALLY IT IS A SINGLE SIGN ON A FOUR STORY BUILDING THEREFORE NOT A GREAT IMPACT. THE SIGN ITSELF AND THE BACKLIT LED LIGHTING DO NOT AFFECT THE ENVIRONMENT.

- 5) ALTHOUGH IT MAY BE CONSIDERED SELF CREATED , THAT IN ITSELF SHOULD NOT BE REASON FOR DENIAL. WE BELIEVE THIS LOCATION SHOULD BE GRANTED RELIEF FROM THIS SECTION OF THE ORDINANCE BASED ON THE REASONS PREVIOUSLY STATED.

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ZONING BOARD OF APPEALS AREA VARIANCE APPLICATION

PROPERTY ADDRESS: 29 Fox St.

LIST OF REQUIRED ATTACHMENTS

1. Letter or communication which resulted in application to the ZBA.
2. Site or Plot Plan: Nine (9) copies.
3. Color photos of site conditions: Nine (9) copies
4. Complete Short EAF
5. Electronic file submission of the plot plan and color photos
6. Other attachments deemed pertinent by the applicant (please list):

SIGNATURE AND VERIFICATION

Please be advised that no application can be deemed complete unless signed below.

THE APPLICANT HEREBY STATES THAT ALL INFORMATION GIVEN IS ACCURATE AS OF THE DATE OF APPLICATION. THE APPLICANT, IF NOT THE OWNER OF THE PROPERTY, HEREBY SWEARS THAT THIS APPLICATION IS MADE WITH THE INFORMED KNOWLEDGE AND CONSENT OF THE OWNER.

Nancy Forrest
SIGNATURE OF APPLICANT

3/26/26
DATE

Nancy Forrest
Print Name